

Wheeler Crest Design Review Committee

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Mammoth Lakes, CA 93546
760-924-1800 phone, 924-1801 fax
commdev@mono.ca.gov

PO Box 8
Bridgeport, CA 93517
760-932-5420 phone, 932-5431 fax
www.monocounty.ca.gov

Special Meeting Agenda

August 29, 2024 – 3:00 PM

Location: Crowley Lake Community Center
58 Pearson Road, Crowley Lake, CA 93546

1. Call To Order
2. Public Comment for items not listed on the agenda
(Speakers may be limited to 3 minutes each.)
3. Review and adopt minutes from the June 27, 2024 meeting (pg. 1)
4. PUBLIC HEARING: Review current building plans for compliance with the Architectural Guidelines in Appendix B of the Wheeler Crest Area Plan adopted as the Design Review Standards for the District by Ordinance 91-07. Copies of plans are available in the Community Development Department office (1290 Tavern Rd. STE 138, Mammoth Lakes, CA) or at the meeting.
 - A. (Continued from 06/27/24) CARDOZA, A single family home and detached garage at 569 Rimrock Dr. (APN 062-200-024) (pg. 4)
5. Workshops:
6. Staff Administration:
 - A. Meeting Schedule and Quorum Poll Discussion
7. Committee Administration:
 - A. Ad hoc Committee updates.
 - B. (Continued from 06/27/24) Consider adoption of changes to the bylaws. (pg. 29)
8. Future Agenda Items:
9. Adjourn

In compliance with the American with Disabilities Act, anyone who needs special assistance to attend this meeting can contact the Mono County staff coordinator at (760) 924-1810 within 48 hours prior to the meeting in order to ensure accessibility (See 42 USCS 12132, 28 CFR 35.130).

Wheeler Crest Design Review Committee

Meeting Minutes

6/27/2024 at 3:00 pm

Committee Members Present: Alisa Adriani, Greta Mettauer, Rico Miledi, Reuben Rosen, Bob Weiland

Committee Members Absent: Meredith Frolio

Staff: Emily Fox, Deputy County Counsel; Brent Calloway, Community Planner

1. Call to Order – Crowley Lake Community Center

By whom: Alisa Adriani 3:03 pm

2. Public Comments – opened at 3:03 pm; closed at 3:03 pm

3. Approve 4/25/24 & 5/23/24 Meeting Minutes 3:05 pm

Motion: Approve minutes from the 4/25 and 5/23 meeting subject to changing the following sentence in the 5/23 meeting:

Committee advised that applicant could tell his client this will be ~~approved~~ reviewed at the next meeting.

(Adriani, 2nd Mettauer)

Ayes – 4, Nays – 0

(All approved, Weiland not in attendance during the vote)

4. Public Hearing

- a. B24-032 (Continued from 5/23/24) CARDOZA, A single family home and detached garage at 569 Rimrock Dr. (APN 062-200-024)

Project is currently in Director's Review seeking a variance on the 30' drainage easement and the location of the proposed garage has not been finalized. Design Review Committee reviewed and approved all color and material selections; however, the committee cannot approve until the application is finalized.

Public Hearing opened at 3:55 pm; closed at 4:08 pm

Motion: Public hearing continued for permit B24-032, CARDOZA, until such time that the application is finalized.

(Adriani, 2nd Miledi)

Ayes – 5, Nays – 0 (All approved)

- b. B23-099 [Conditionally Approved 10/26/23] HATFIELD, A single family home, attached garage and detached guesthouse at 926 Sky Meadows Rd, (APN 064-090-014)

Public Hearing opened at 3:08 pm; closed at 3:12 pm

Motion: Remove any outstanding conditions and approve application for permit B23-099, HATFIELD, single family home, attached garage and detached guesthouse at 926 Sky Meadows Rd, (APN 064-090-014)

(Adriani, 2nd Mettaufer)

Ayes – 5 Nays – 0 (All approved)

- c. B24-092 SANCHEZ (Applicant in-person) A single family home with attached junior accessory dwelling unit and detached garage with attached accessory dwelling unit at 105 Sierra Wave, (APN 064- 100-046)

Public Hearing opened at 3:12 pm; closed at 3:55 pm

Public Comment (Jim Green):

- Questions about structure color palette which were satisfied.
- North-side of Plot Plan shows two parking spots that are located within the 50 ft setback. In addition, it was noted that the driveway is missing from the plans. Applicant agreed to remove the two parking spots and will update the plans. Committee and Mono County Representatives advised Mr. Green to follow up with the Mono County Community Development Department to see the plans once they are revised.
- Question regarding the JR ADU, per state law they must be contained within the single-family structure. The plans show a breezeway between the JR ADU and the main structure. Per the county, as long as there is a single roof line, which there is, it is considered to be a single structure.

Public Comment (Gary Talavera):

- Referred back to 1992 CCR's which specifically pointed out that guest houses could not have kitchens and wondered if that were applicable for ADU's. Advised that subsequent California State ADU laws supersede the 1992 CCR's.

Motion: Approve permit B24-092, SANCHEZ, single family home with attached junior accessory dwelling unit and detached garage with attached accessory dwelling unit at 105 Sierra Wave, (APN 064- 100-046) with the recommendation that all parking be compliant with the specific area plan.

(Adriani, 2nd Miledi)

Ayes – 5 Nays – 0 (All approved)

5. Workshops 4:08 pm
None
6. Committee Administration 4:10 pm
- A. Consider adopting the resolution appointing an ad hoc committee to make revisions to the application for design review.
- To be continued; will be reviewed at next meeting. Any reporting from the Ad Hoc committee needs to be reviewed by the committee in session and be included in report package (needs to be submitted at least one week prior to scheduled meeting).
- B. Discussion of Brown Act and due process implications for site visits – Reviewed and implications of memo sent by Emily Fox.
- C. Consider adopting changes to the By Laws – brief discussion about meeting time, will address at next meeting.
7. Future Agenda Items:
- Consider adopting changes to the By Laws
 - Consider adopting the resolution appointing an ad hoc committee to make revisions to the application for design review.
8. Next meeting: July 25th, 2024 3:00 pm
9. Adjourn 4:18 pm

Mono County Community Development Department

P.O. Box 347
Mammoth Lakes, CA 93546
(760) 924-1800, fax 924-1801
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Planning Division

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WHEELER CREST DESIGN REVIEW DISTRICT PROJECT INFORMATION SHEET

APPLICANT CRAIG TAPLEY / DESIGN DIMENSION ASSOC., INC.

ASSESSOR PARCEL # 064.200.024.000

PROJECT DESCRIPTION (e.g., single-family residence, garage, etc.)
PROPOSED SINGLE FAMILY RESIDENCE W/ DETACHED GARAGE

BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

EXAMPLE

A. **Location of all utility boxes, transformers, propane tanks and metering devices.**
Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

A. **Location of all utility boxes, transformers, propane tanks and metering devices.**
Please explain how your project complies with the following design criteria:
ELECTRIC SERVICE IS LOCATED AT NORTH SIDE OF GARAGE W/ 200 AMP METER & SHUT-OFF. CONDUIT TO SOUTH SIDE OF HOUSE @ 200 AMP SUB-PANEL. PROPAANE TANK LOCATED BEHIND GARAGE & WILL BE SHIELDED W/ WOOD FENCE PAINTED TO MATCH HOUSE ALSO SEVERAL 5 GALLON CONIFERS PLANTED TO BLOCK VIEW OF TANK.

Design Criteria: All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

B. **Paint color for any portions of construction grade foundation work that extend above the finished grade.**

Please explain how your project complies with the following design criteria (lines on next page):

Design Criteria: Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

C. **Paint or stain color for exposed under portions of elevated decks and porches.**

Please explain how your project complies with the following design criteria:

ANY EXPOSED WOOD OF FRAMING WILL BE STAINED W/ SEMI TRANSPARENT - CABOTS "PEPPERWOOD" TO ACCENT HOUSE COLOR.

Design Criteria: Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

D. **Siding materials and pattern of application.**

Please explain how your project complies with the following design criteria:

SIDING - BOARD/BATT - JAMES HARDIE - ARTISIAN LAP 10" EXPOSURE, PAINT FINISH
JAMES HARDIE - 4x8 PANEL MATERIAL W/ 3/4" x 3.5" VERT. BATTENS @ 16" O/C.
- VERT. CORE-TEN SIDING, NATURAL OXIDIZED PATINA, WITH ALL TRIM TO MATCH.

Design Criteria: Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

E.

Color for any aluminum sash.

Please explain how your project complies with the following design criteria:

THERE WILL NOT BE ANY EXPOSED ALUMINUM SASH, ALL EXPOSED FLASHING WILL BE COLORED METAL TO MATCH ROOF BAKED ENAMEL.

Design Criteria: Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

F.

Paint colors for all exposed metal.

Please explain how your project complies with the following design criteria:

ALL EXPOSED METAL WILL MATCH ASC-SKYLINE "BROWN CHESTNUT" PLEASE REFER TO ELECTRONIC PDF COLOR PALLETTE

Design Criteria: All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

G.

Roof materials

Please explain how your project complies with the following design criteria:

ALL ROOF SURFACES WILL BE COVERED W/ ASC-SKYLINE STANDING SEAM - "CHESTNUT BROWN" W/ DRIP EDGE. CHIMNEY CHASE TO BE ADAPTED W/ SCREEN AND ROOF METAL

Design Criteria: Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies Does Not Comply Not Applicable

Design Review Committee Notes:

H.

Color and type of exterior stains and finishes.

Please explain how your project complies with the following design criteria:

MAIN BODY OF HOUSE TO BE PAINTED W/ DUNN-EDWARDS

ALL TRIM & WDW WRAP TO BE PAINTED W/ DUNN-EDWARDS

WINDOWS WILL ALL BE FIBERGLASS OR ANODIZED ALUM. "DARK BRONZE"

Design Criteria: Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

I. Location of any exterior lighting.

Please explain how your project complies with the following design criteria:

GARAGE FRONT WALL @ SECTIONAL DOOR WILL HAVE SHIELDED DOWN LIGHTS, SIDE DOOR @ PATIO 2-LITES FRONT DOOR @ HOUSE WILL HAVE 2 SHIELDED LITES AS WELL BACK DECK 2-WALL SCONCES.

Design Criteria: Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

SITE DEVELOPMENT

J. Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.

Please explain how your project complies with the following design criteria:

PLEASE REFER TO A-1, A-1.1 FOR ALL TOPOGRAPHY DENEWAY AND FLOOR ELEVATIONS FOR BOTH BUILDINGS, MINIMAL CUT WILL BE REQUIRED AS STEM WALL FOUNDATIONS ALLOW FOR SUSTAINABLE DESIGN.

Design Criteria: The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

K. Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).

Please explain how your project complies with the following design criteria:

PLEASE REFER TO A1, A1.1 FOR DRNEWAY AND ALL FLOWLINES TO CONTROL WATER RUN-OFF & DRAINAGE.

Design Criteria: Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

L. Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).

Please explain how your project complies with the following design criteria:

PLEASE SEE A-1, A-1.1 FOR ALL GRADING - SLOPE @ DRIVE
FLOWLINES @ HOUSE TO CONTROL RUN-OFF.

Design Criteria: Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

M. Fencing location, design and materials.

Please explain how your project complies with the following design criteria:

FENCING ONLY @ PROpane TANK, PLANK CEDAR
PAINTED TO MATCH HOUSE.

Design Criteria: Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

- N. Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).

Please explain how your project complies with the following design criteria:

MINIMAL SITE DISTURBANCE AS THERE IS ONLY SOME SAGE & SHRUBS. WE ARE PLANNING A ZERO SCAPE W/ INFILL OF INDIGENOUS DROUGHT RESISTANT PLANTS

Design Criteria: Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies Does Not Comply Not Applicable

Design Review Committee Notes:

- O. The items checked above have been included with the building plans and plot plan for Plan Check # _____

Signature

Date

PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

APPLICANT _____

ASSESSOR PARCEL # _____

PROJECT DESCRIPTION _____
(e.g., single-family residence, garage, etc.)

WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:

Recommended for approval: without conditions with attached conditions

Chair, Wheeler Crest Design Review Committee _____
Date

The Wheeler Crest Design Review Committee recommends the following findings and conditions:

- Complies with guidelines

- Does not comply with guidelines (please summarize items inconsistent with guidelines)

Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

COMMUNITY DEVELOPMENT DETERMINATION:

- Hold for further review/information (see attached letter for detail)
- Approved with no conditions
- Approved with the following conditions

Community Development Department _____
Date

PLANTING LEGEND	
SYMBOL	SIZE / SPECIES
	15 GAL. LOMBARDY POPLAR
	5 GAL. WILLOW / GROUP PLANTING
	5 GAL. COMMON LILAC / GROUP PLANTING

DRAINAGE/ CONSTRUCTION REMEDIATION NOTES:

- All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code (CEC), 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
- GRADING & EXCAVATION- Contractor to utilize Best professional management practices before initiating any Grading or Construction on this Job Site. With the proximity to the Drainage Easement all efforts will be made to control erosion or disturbance that would otherwise erode or migrate to the Drainage Easement. All excavation will be limited to Utility infrastructure, minimal excavation for Driveway, Foundations etc. Erosion control will be done with the use of staked Hay waddle rolls in two lines between Drainage course, House & Garage Foundation. The use of hay bales may be utilized adjacent to foundations to protect any soils from encroaching towards Drainage easement. However, the application of two staked lines of Hay waddle will accomplish protecting the Drainage. Any excavation at the Drainage Easement will be conducted during the 8 months that the courseway is dry- no water present.
- PLANTING & REVEGETATION- Any disturbance to native vegetation will be mitigated by replacement of all species- either Bitter brush, Desert Peach, Mountain Mahogany specimens will be replanted, and provided with drip irrigation for the first two years, from spring thru fall. Refer to Landscape Plan on Sht. A-1.2.
- SITE DISTURBANCE- The contractor will be aware that this site is extremely sensitive considering the Drainage easement, shown with Graphical shading on this site map. Contractor must minimize any Grading and Excavation in these areas. If any disturbance happens outside of the footprint of the Foundation measures need to be taken to completely restore the natural state of slope conditions, rocks and revegetation. Note driveway is noted to have a swale that diverts run-off water etc. away from Drainage easement, refer to Flow Line note on this Site Plan.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

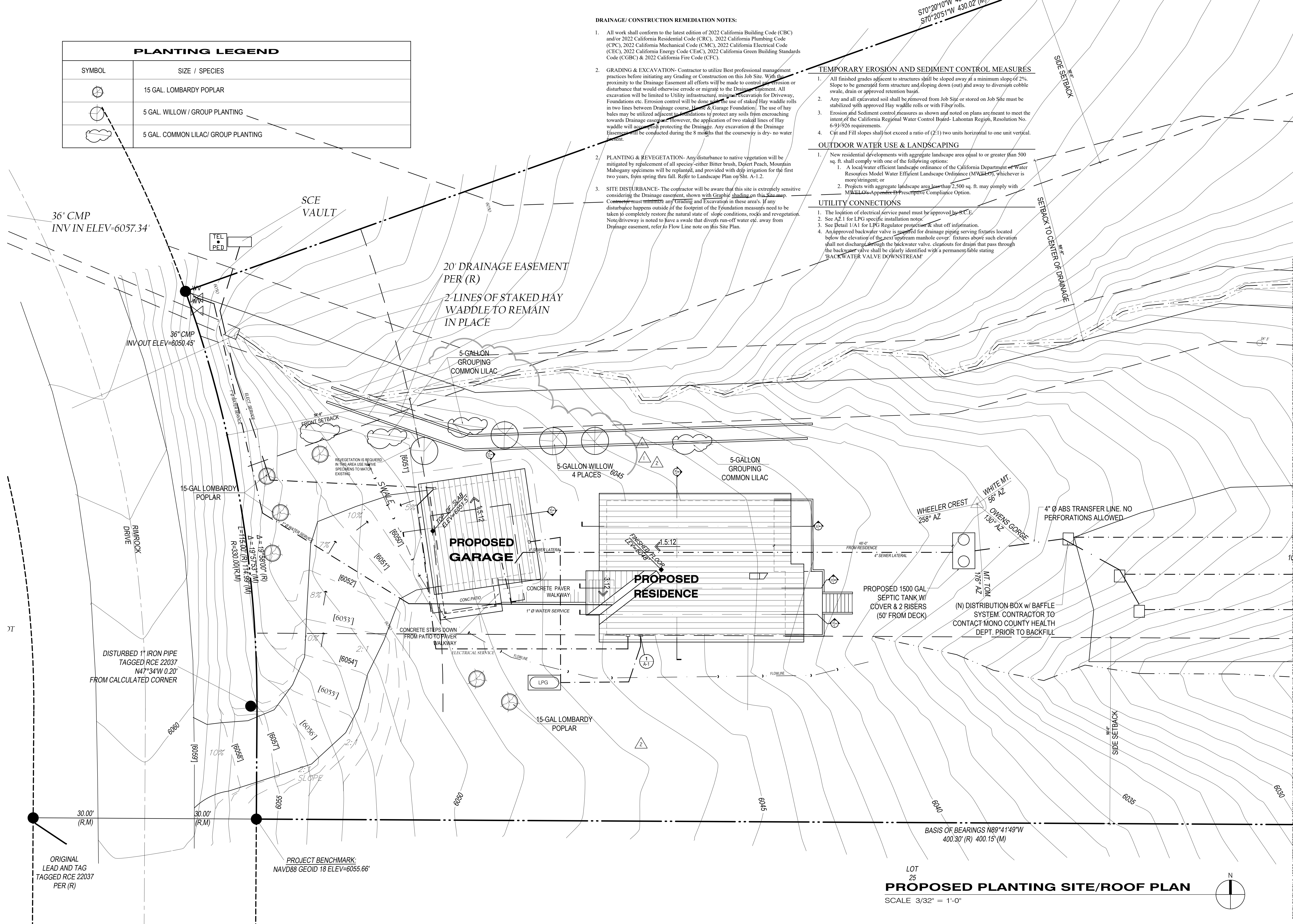
- All finished grades adjacent to structures shall be sloped away at a minimum slope of 2%. Slope to be generated from structure and sloping down (out) and away to diversion cobbles swale, drain or approved retention basin.
- Any and all excavated soil shall be removed from Job Site or stored on Job Site must be stabilized with approved Hay waddle rolls or with Fiber rolls.
- Erosion and Sediment control measures as shown and noted on plans are meant to meet the intent of the California Regional Water Control Board- Lahontan Regional, Resolution No. 6-91/926 requirements.
- Cut and Fill slopes shall not exceed a ratio of (2:1) two units horizontal to one unit vertical.

OUTDOOR WATER USE & LANDSCAPING

- New residential developments with aggregate landscape area equal to or greater than 500 sq. ft. shall comply with one of the following options:
 - A local water efficient landscape ordinance of the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or
 - Projects with aggregate landscape area less than 2,500 sq. ft. may comply with MWELO-Appendix D Prescriptive Compliance Option.

UTILITY CONNECTIONS

- The location of electrical service panel must be approved by S.C.E.
- See A2.1 for LPG specific installation notes.
- See Detail 1/A1 for LPG Regulator protection & shut off information.
- An approved backwater valve is specified for drainage piping serving fixtures located below the elevation of the next upstream manhole cover. Fixtures above such elevation shall not discharge through the backwater valve. Cleanouts for drains that pass through the backwater valve shall be clearly identified with a permanent fable stating 'BACKWATER VALVE DOWNSTREAM'



DESIGN DIMENSION ASSOCIATES
 1210 BOX 7193
 MAMMOTH LAKES, CA 93946
 TEL/FAX (760) 934-4348

LANDSCAPE PLANTING PLAN
ENLARGED SITE PLAN / ROOF PLAN

Craig Tapley

CARDOZA Family Residence
 CLIENT NAME: IAN CARDOZA
 CONTACT ADDRESS:
 PROJECT ADDRESS:
 A/PN: 064-200-024-000

3661 BOREN ST.
 SAN DIEGO, CA 92115
 569 RIMROCK RD.
 SWALL MEADOWS CA, 93529
 PH. 619.647.7305

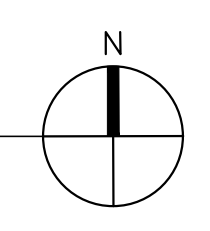
REVISIONS

1	PLAN CHECK REV.	03-15-24 CWT
2	PLAN G. DEPT. REV.	05-9-24 CWT
3	DR REVIEW REV.	06-06-24 CWT
4	DRAINAGE EASE. REV.	07-10-24 CWT

NOV. 2023
 SCALE: AS SHOWN
 DRAWN: CWT/FC
 PRINTED 7.23.24
 SHEET

A1.2

LOT 25
PROPOSED PLANTING SITE/ROOF PLAN
 SCALE 3/32" = 1'-0"



DESIGN DIMENSION & ASSOC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE TO BE REPRODUCED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM DESIGN DIMENSION & ASSOC.

WILDLAND URBAN INTERFACE REQUIREMENTS

- This project shall comply with the Wildland Urban Interface standards in the high hazard zone and must meet the required fire protection measures of California Residential Code Chapter R337.
- Construction to be completed following Fire & Life Safety review to guidelines in accordance with 2022 California Fire Code.
- An approved Spark arrestor will be required for all Fireplaces, Barbeques, or other heaters in which solid or liquid fuels are used.
- Building address must be on a contrasting background, 4 inches in size, located in the vicinity of the Garage, and be readily visible and legible from the road serving the structure. Numbers shall contrast with background, be Arabic or Alphabetical letters a minimum of 4 inches tall with a minimum stroke of 1/2".
- Ignition-resistant material.** Ignition-resistant material shall be determined in accordance with the test procedures set forth in SFM Standard 12-7A-5 "Ignition-Resistant Material".
- Defensible Space: The existence or maintenance of any of the following conditions is prohibited:
 - Tree branches within 10 feet of a chimney outlet or stovepipe outlet;
 - Dead or dying tree branches adjacent to or overhanging a building;
 - Leaves, needles, or other dead vegetative growth on the roof of any structure;
 - Flammable vegetation or other combustible growth within 30 feet of an occupied dwelling or structure that prevents the creation of a firebreak;
 - Brush, flammable vegetation, or combustible vegetation located between 30 and 100 feet of an occupied dwelling or structure that prevents the creation of a Reduced Fuel Zone;
 - Brush or other flammable material within 10 feet of a propane tank.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

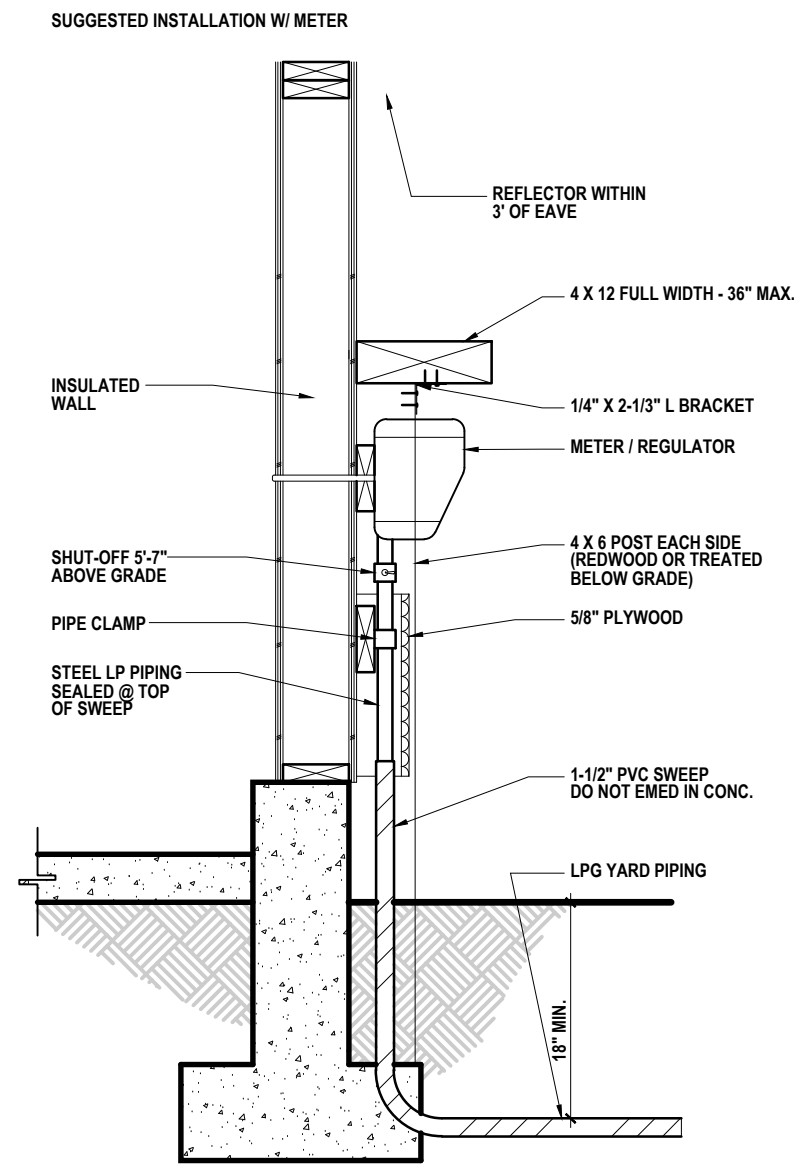
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OUTDOOR WATER USE & LANDSCAPING

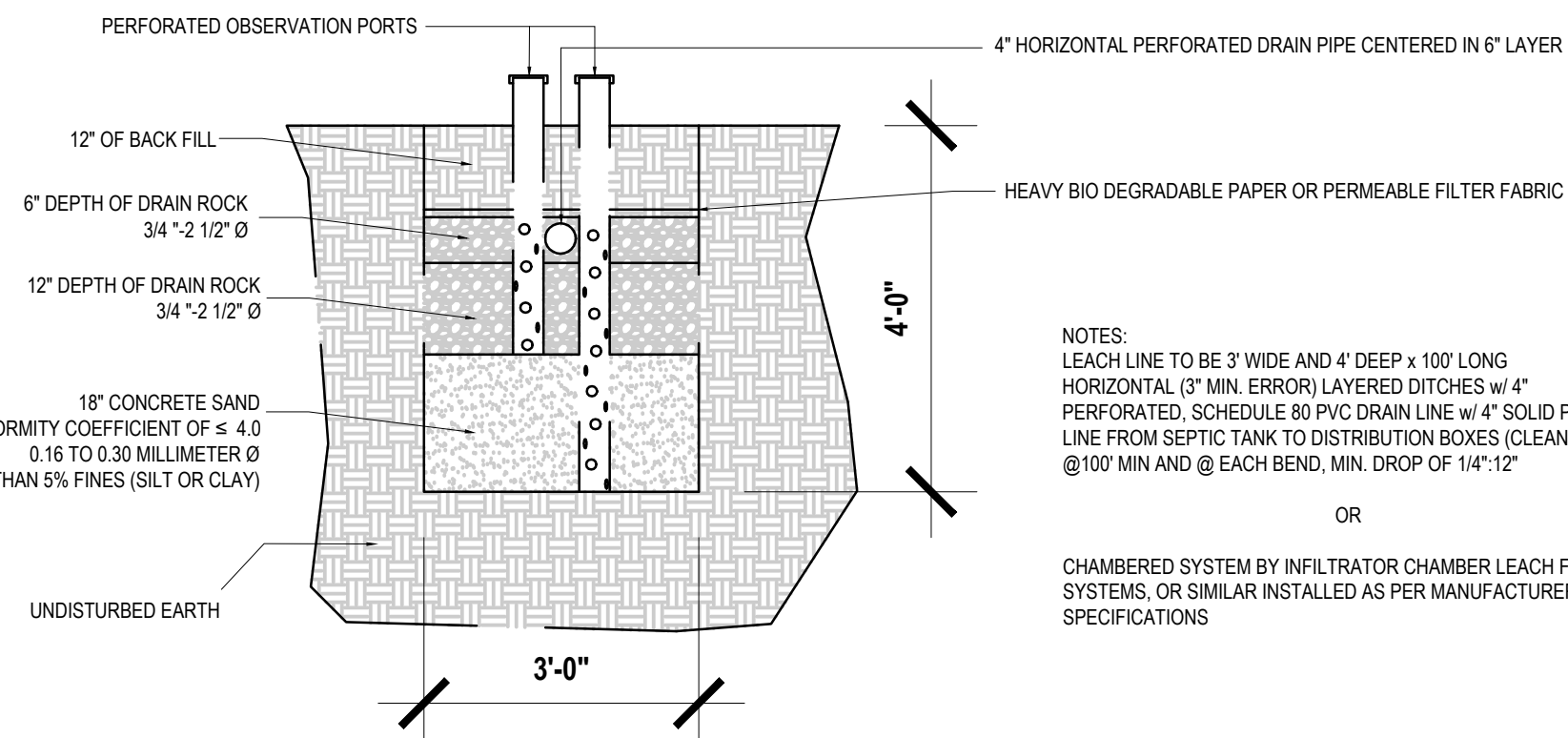
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1 LPG METER & SHUT OFF
SCALE: 1"=1'-0"

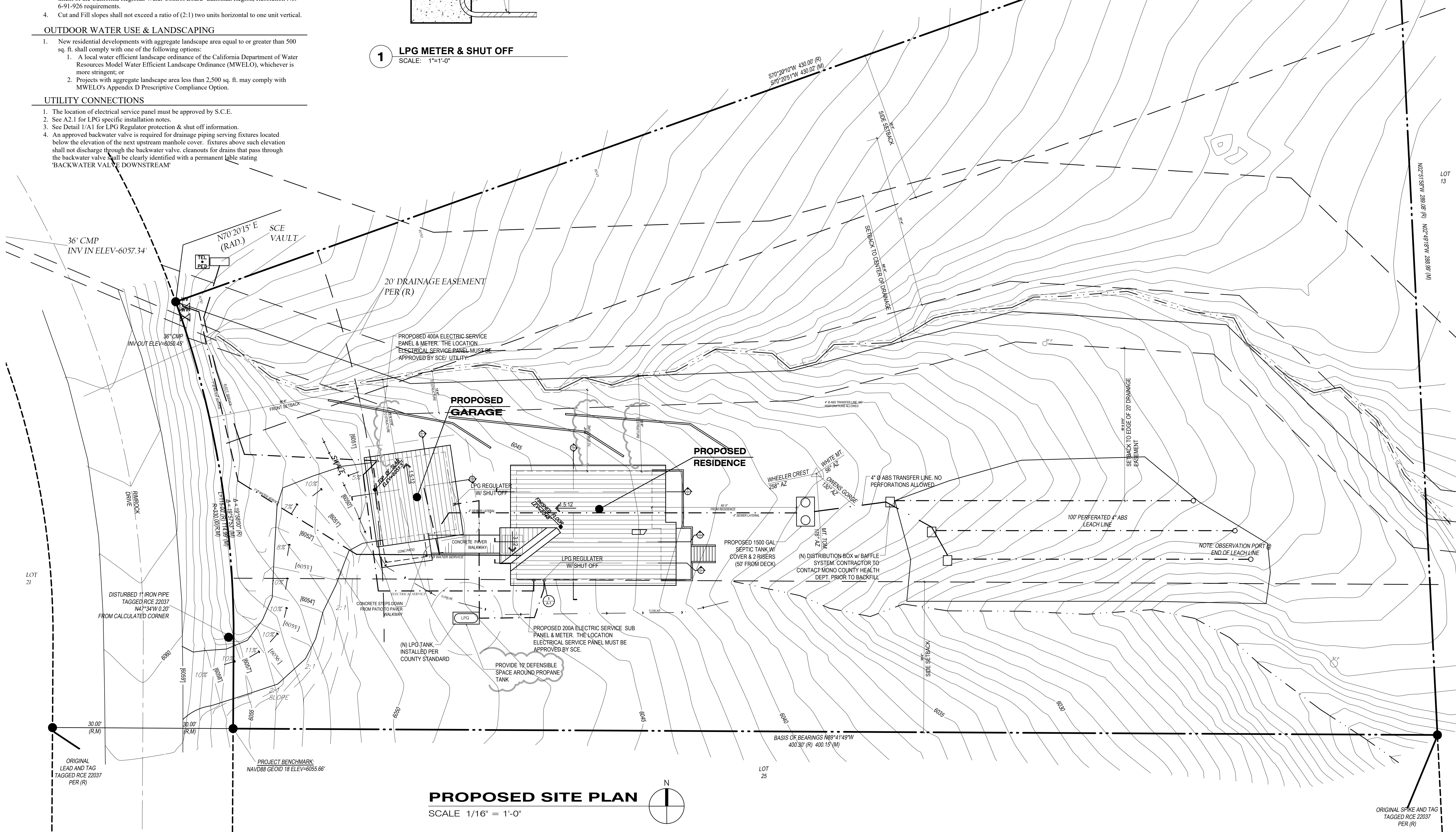


2 LEACH LINE TRENCH & OBSERVATION PORT
SCALE: 1/2"=1'-0"

NOTES:
LEACH LINE TO BE 3' WIDE AND 4' DEEP x 100' LONG HORIZONTAL (3' MIN. ERROR) LAYERED DITCHES w/ 4" PERFORATED, SCHEDULE 80 PVC DRAIN LINE w/ 4" SOLID PVC LINE FROM SEPTIC TANK TO DISTRIBUTION BOXES (CLEANOUTS) @ 100' MIN AND @ EACH BEND, MIN. DROP OF 1/4"-1/2"

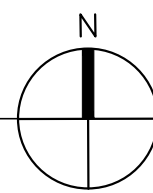
OR

CHAMBERED SYSTEM BY INFILTRATOR CHAMBER LEACH FIELD SYSTEMS, OR SIMILAR INSTALLED AS PER MANUFACTURERS SPECIFICATIONS



PROPOSED SITE PLAN

SCALE 1/16" = 1'-0"



DESIGN DIMENSION ASSOCIATES
DESIGN PLANNING STRUCTURES
P. O. BOX 1193
MAMMOTH LAKES, CA 93546
TEL/FAX (760) 934-4348

PROPOSED SITE PLAN/ROOF PLAN

Craig Tapley

CARDOZA Family Residence
CLIENT NAME: IAN CARDOZA
CONTACT ADDRESS:
3681 BOREN ST.
SAN DIEGO, CA 92115
560 RIMROCK RD.
SMALL MEADOWS CA, 93529
PH. 619.647.7305

REVISIONS

1	PLAN CHECK REV. 03-15-24 CWT
2	PLANN'G. DEPT. REV. 05-9-24 CWT
3	PLANN'G. DEPT. REV. 06-18-24 CWT DRAINAGE EASE.

NOV. 2023
SCALE: AS SHOWN
DRAWN: CWT/FC
PRINTED 7.32.24
SHEET **A1**

DESIGN DIMENSION & ASSOC. HEREBY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, IDEAS, AND DESIGNS. THESE PLANS, IDEAS, AND DESIGNS ARE NOT TO BE REPRODUCED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING WRITTEN PERMISSION FROM DESIGN DIMENSION & ASSOC.

PLANTING LEGEND	
SYMBOL	SIZE / SPECIES
	15 GAL. LOMBARDY POPLAR
	5 GAL. WILLOW / GROUP PLANTING
	5 GAL. COMMON LILAC / GROUP PLANTING

DRAINAGE / CONSTRUCTION REMEDIATION NOTES:

- All work shall conform to the latest edition of 2022 California Building Code (CBC) and/or 2022 California Residential Code (CRC), 2022 California Plumbing Code (CPC), 2022 California Mechanical Code (CMC), 2022 California Electrical Code (CEC), 2022 California Energy Code (CEC), 2022 California Green Building Standards Code (CGBC) & 2022 California Fire Code (CFC).
- GRADING & EXCAVATION-** Contractor to utilize Best professional management practices before initiating any Grading or Construction on this Job Site. With the proximity to the Drainage Easement all efforts will be made to control any erosion or disturbance that would otherwise erode or migrate to the Drainage easement. All excavation will be limited to Utility infrastructure, minimal excavation for Driveway, Foundations etc. Erosion control will be done with the use of staked Hay waddle rolls in two lines between Drainage course, House & Garage Foundation. The use of hay bales may be utilized adjacent to foundations to protect any soils from encroaching towards Drainage easement. However, the application of two staked hay waddle will accomplish protecting the Drainage/ Any excavation at the Drainage Easement will be conducted during the 8 months that the driveway is dry- no water present.
- PLANTING & REVEGETATION-** Any disturbance to native vegetation will be mitigated by replacement of all species- either Bitter brush, Desert Peach, Mountain Mahogany specimens will be replanted, and provided with drip irrigation for the first two years, from spring thru fall. Refer to Landscape Plan on Sht. A-1.2.
- SITE DISTURBANCE-** The contractor will be aware that this site is extremely sensitive considering the Drainage easement, shown with Graphic shading on this Site map. Contractor must minimize any Grading and Excavation in these areas. If any disturbance happens outside of the footprint of the Foundation measures need to be taken to completely restore the natural state of slope conditions, rocks and revegetation. Note driveway is noted to have a swale that diverts run-off water etc. away from Drainage easement, refer to Flow Line note on this Site Plan.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

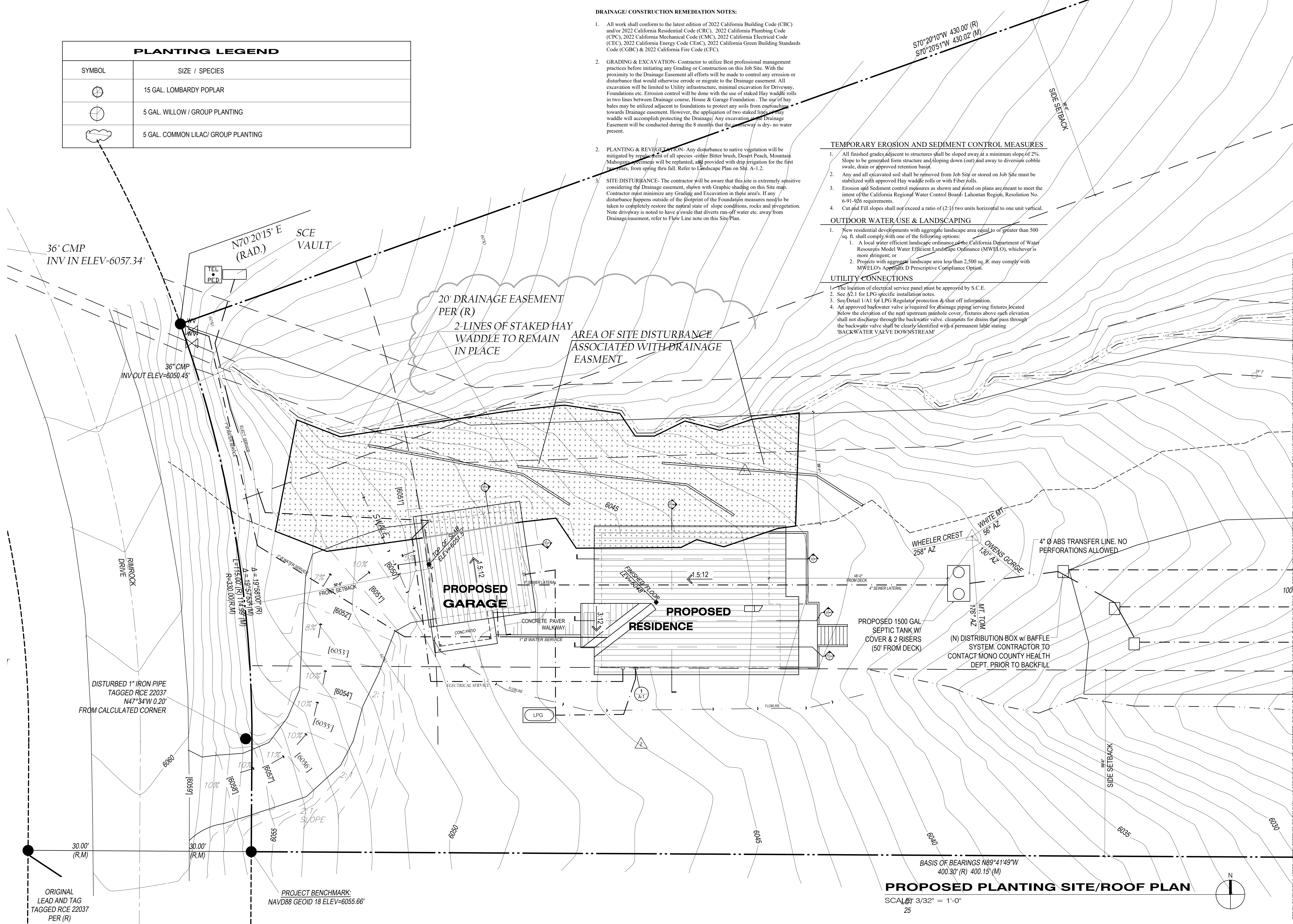
- All finished grades adjacent to structures shall be sloped away at a minimum slope of 2%. Slope to be generated from structure and sloping down (out) and away to diversion cobbles swale, drain or approved retention basin.
- Any and all excavated soil shall be removed from Job Site or stored on Job Site must be stabilized with approved Hay waddle rolls or with Fiber rolls.
- Erosion and Sediment control measures as shown and noted on plans are meant to meet the intent of the California Regional Water Control Board- Lahontan Region, Resolution No. 6-91-926 requirements.
- Cut and Fill slopes shall not exceed a ratio of (2:1) two units horizontal to one unit vertical.

OUTDOOR WATER USE & LANDSCAPING

- New residential developments with aggregate landscape area equal to or greater than 500 sq. ft. shall comply with one of the following options:
 - A local water efficient landscape ordinance of the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or
 - Projects with aggregate landscape area less than 2,500 sq. ft. may comply with MWELO's Appendix D Prescriptive Compliance Option.

UTILITY CONNECTIONS

- The location of electrical service panel must be approved by S.C.E.
- See A2.1 for LPG specific installation notes.
- See Detail 1/A1 for LPG Regulator protection & shut off information.
- All approved backwater valve is required for drainage piping serving fixtures located below the elevation of the next upstream manhole cover, fixtures above such elevation shall not discharge through the backwater valve. Cleanouts for drains that pass through the backwater valve shall be clearly identified with a permanent label stating 'BACKWATER VALVE DOWNSTREAM'



DESIGN DIMENSION ASSOCIATES
DESIGN PLANNING STRUCTURES
 P O BOX 7193
 MAMMOTH LAKES, CA 93248
 TEL/FAX (760) 934-4348

**DRAINAGE EASEMENT MITIGATION
 ENLARGED SITE PLAN / ROOF PLAN**

Craig Tapley

CARDOZA Family Residence
 CLIENT NAME: IAN CARDOZA
 CONTACT ADDRESS:
 3661 BOREN ST.
 SAN DIEGO, CA 92115
 569 RIMROCK RD.
 SWALL MEADOWS CA, 93529
 PH. 619 647 7305

REVISIONS

1	PLAN CHECK REV.	03-15-24 CWT
2	PLAN G. DEPT. REV.	05-9-24 CWT
3	DR REVIEW REV.	06-06-24 CWT
		DRAINAGE EASE

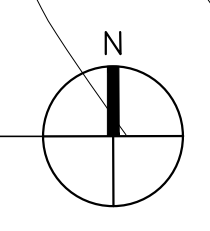
NOV. 2023
 SCALE: AS SHOWN
 DRAWN: CWT/FC
 PRINTED 7.23.24
 SHEET

A1.3

BASIS OF BEARINGS N89°41'49"W
 400.30' (R) 400.15' (M)

PROPOSED PLANTING SITE/ROOF PLAN

SCALE: 3/32" = 1'-0"
 25



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MONO COUNTY COMMUNITY DEVELOPMENT DEPARTMENT

PO Box 347
Mammoth Lakes, CA 93546
760-924-1800 phone, 924-1801 fax
commdev@mono.ca.gov

Planning Division

PO Box 8
Bridgeport, CA 93517
760-932-5420 phone, 932-5431 fax
www.monocounty.ca.gov

NOTICE OF DECISION Director Review 24-007 Stream Setback Encroachment / Cardoza

APPLICANT: Craig Tapley for Ian Cardoza

SUBJECT PROPERTY: 569 Rimrock Drive, Swall Meadows, APN 064-200-024-000.

PROPOSAL: To allow residential structures and site work to encroach within the required 30' top of stream setbacks.

Pursuant to the Mono County General Plan, Chapter 31 Director Review Procedures, based upon the following findings, you are hereby notified that Director Review 24-007 has been:

- Granted as requested.
 Granted subject to the attached Conditions of Approval.
 Denied



Figure 1: Subject Property Highlighted in Teal, Note Streambed Bisecting Parcel

BACKGROUND

A property owner in Mono County recently applied for a building permit to construct a new single-family residence and detached garage in Swall Meadows. During the review process, it was determined that the drainage ditch on the property is classified as a major/minor stream by US Geological Survey (USGS). Pursuant to Mono County General Plan (MCGP) Section 04.120.F.b, "any proposed structure, including associated impervious surfaces, shall be located a minimum of 30 feet from the top of any major/minor stream bank".

Deviations of these setback requirements may be granted if the mandatory Director Review (DR) findings can be made, and the applicant can demonstrate that the proposed construction will not result in a significant adverse impact on the water body or the riparian area. The stream is also located within a 20' wide drainage easement, which will require the site plan to be approved by Public Works prior to a decision for the DR.

Director Review 24-007 would allow a reduced stream-side setback for a single-family residence and associated detached garage. The subject property is located at 569 Rimrock Drive in Swall Meadows. It is 1.98-acres and designated Estate Residential (ER). The parcel is lot 24 of the Pinion Ranch subdivision, and all surrounding lots are also designed Estate Residential.

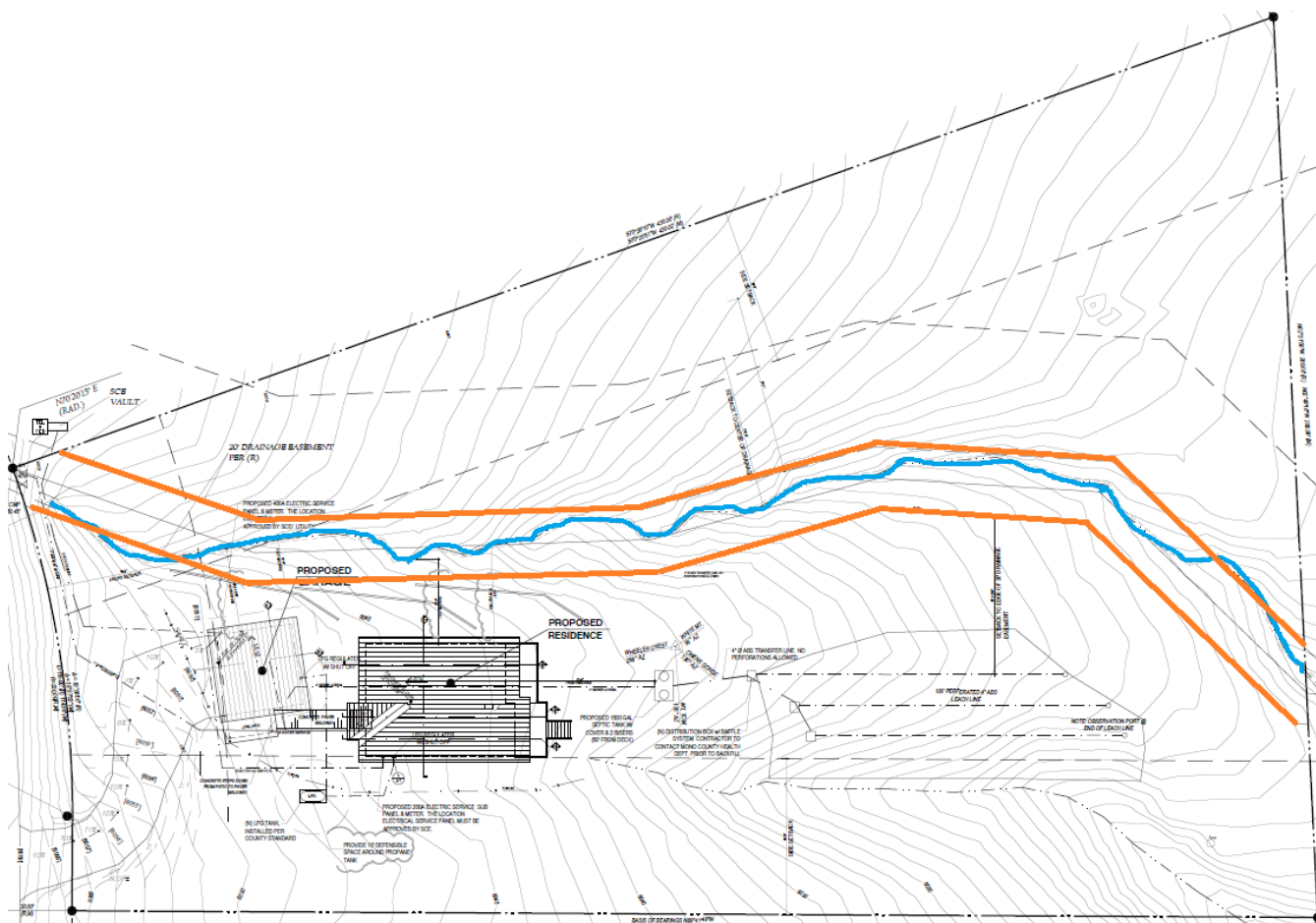


Figure 2: Overall Site Plan, Stream in Blue, DPW Drainage Easement in Orange

For parcels of this size and land use designation, both CalFIRE and the Mono County General Plan each require a 30' side yard setback for new structures, however, the local Pinion Ranch HOA requires a 50' side yard, which further constrains how far south structures can be located on the parcel. The applicant requested a reduction to the HOA side yard setback, but it was not granted. Instead, the site plan has been revised and submitted in an effort to obtain approval of a Director Review permit from the County to allow encroachment within the required stream setbacks to the North.

ANALYSIS

The proposed site layout indicates the garage structure to be approximately 26' to the top of stream bank, an encroachment of 4' into the 30' stream setback requirement. The single-family residence is located as close as 26'3" to top of stream bank, or an approximate encroachment of 3'9" into the 30' setback. The septic system, previously designed to cross the stream, has been relocated to the southeast side of the parcel, with the closest leach line greater than 50' to the edge of the drainage easement, or nearly 70' to the stream itself.

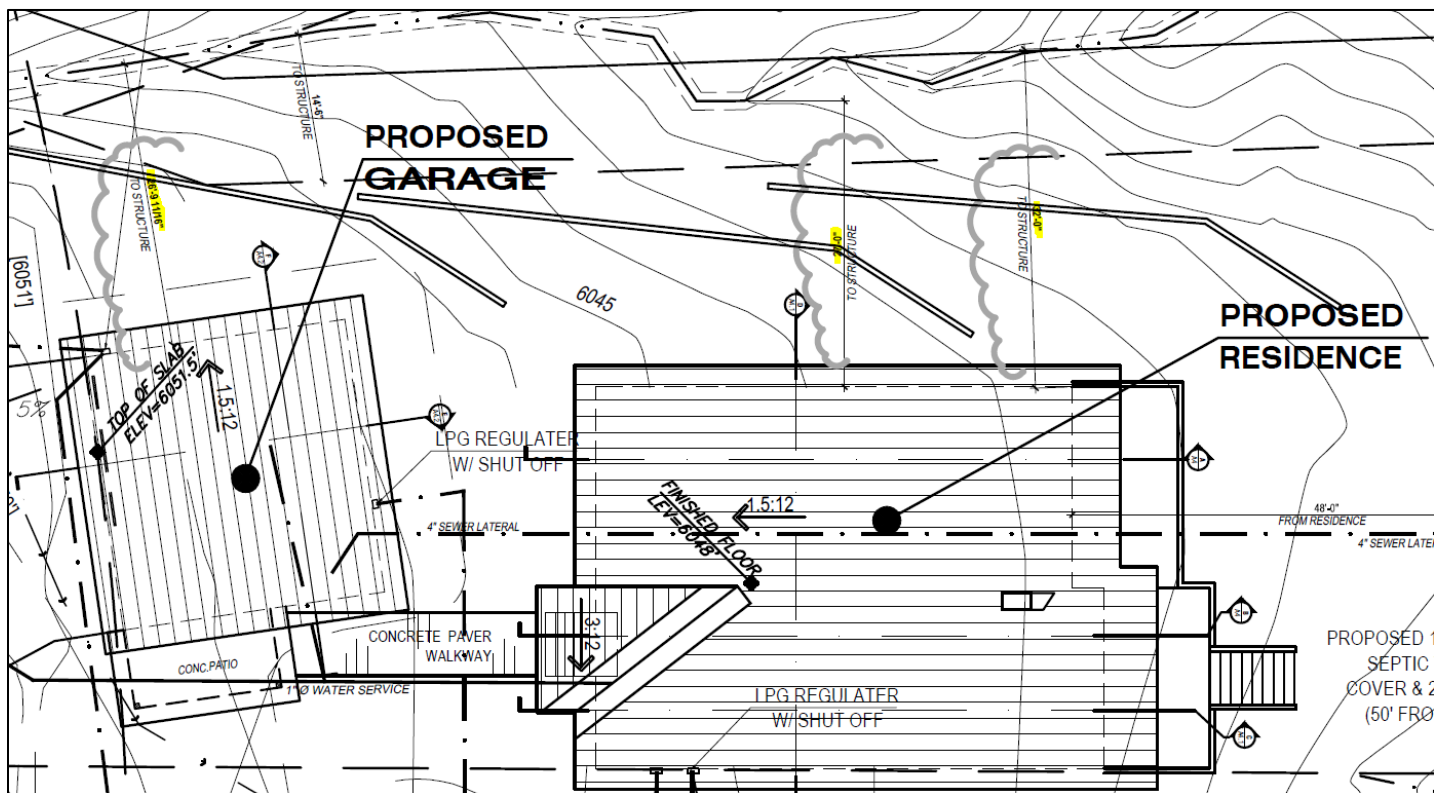


Figure 3: Enlarged Site Plan, Stream Encroachment Distances

In an effort to mitigate concerns to the stream, the applicant has revised the site plan in the following ways: Re-routed electrical and septic away from the stream and drainage easement, relocated the garage further south, and relocated the propane tank to the south side of the lot; no longer encroaching on the stream setback. At the request of Public Works, the applicant has also revised the landscaping plan so planted trees/shrubs and straw waddles are no longer within the drainage easement.

STREAM SETBACK

Section 4.120.F of the MCGP states that deviations of the stream setback requirement may be granted if both the Director Review findings can be made, as well as the applicant can demonstrate that the proposed construction will not result in a significant impact on the water body or riparian area. By installing and maintaining straw waddles and other Stormwater Best Management Practices (BMPs) during construction of the residence, runoff into the creek will be minimized. The proposed landscaping plan will help create a biological barrier between the home and the stream as well, and the owners of the residence will be responsible for ensuring the drainage easement remains free of debris and pollution.

As seen in Figure 4 below, the straw waddles (brown) line the south side of the drainage easement (orange) to mitigate any potential runoff during construction. The proposed landscaping features (green) are located outside of the drainage easement to minimize any shedding of plant material into the easement area.

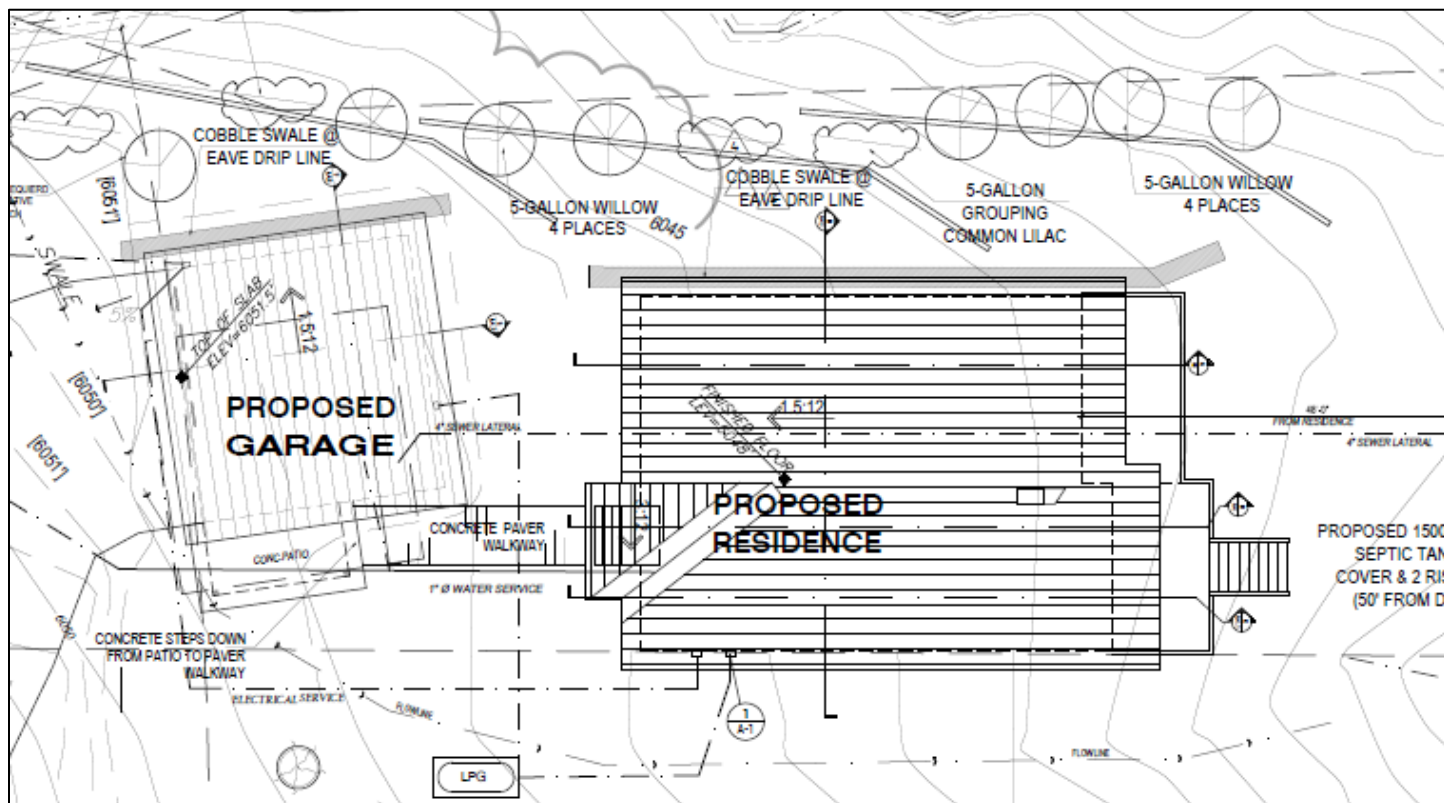


Figure 4: Landscape and BMP Plan

LAND DEVELOPMENT TECHNICAL ADVISORY COMMITTEE (LDTAC)

The LDTAC reviewed and approved the project application for processing on 7/1/24. Final conditions of approval were reviewed and approved by LDTAC on 8/5/2024.

NOTICING REQUIREMENTS

Pursuant to Chapter 31, Director Review, notice to contiguous property owners is required at the Director's discretion, and must be provided when the application may have an impact upon contiguous property owners and/or public agencies. For this proposal, the Director has determined that noticing contiguous properties is not required.

DIRECTOR REVIEW FINDINGS

In order to issue a Director Review permit, the Director must find that all of the following are true:

- a. *All applicable provisions of Land Use Designations and Land Development Regulations are complied with, and the site of the proposed use is adequate in size and shape to accommodate the use and to accommodate all yards, walls and fences, parking, loading, landscaping and other required features;*

The proposed residential site has met all other applicable development standards of the Mono County General Plan, Land Use Element, with the exception of the stream setback encroachment.

- b. *The site for the proposed use relates to streets and highways adequate in width and type to carry the quantity and kind of traffic generated by the proposed use;*

This lot is being developed to allow a single-family residence; no increase in vehicular traffic is anticipated beyond the typical vehicular road users in any tract development.

- c. *The proposed use will not be detrimental to the public welfare or injurious to property or improvements in the area in which the property is located;*

The stream-side setback deviation is fairly minor in nature; use of BMPs during the construction process, as well as vigilance of the property owner to keep debris and detritus from the stream area in the long-term, will be instrumental in preserving the stream corridor on this property.

- d. *The proposed use is consistent with the map and text of this General Plan and any applicable area plan;*

The intention of the Estate Residential land use designation is specifically to develop larger, single-family residential parcels. By working with the applicant to allow this deviation, the County is enforcing the provisions of the general plan while also helping the property owner to develop a residential tract lot with unique site and HOA constraints, and may otherwise not be developed.

- e. *That the improvements as indicated on the development plan are consistent with all adopted standards and policies as set forth in the Land Development Regulations, this General Plan and any applicable area plan; and*

COUNTYWIDE LAND USE POLICIES

Objective 1.A. Accommodate future growth in a manner that preserves and protects the area's scenic, agricultural, natural, cultural and recreational resources and that is consistent with the capacities of public facilities and services.

Policy 1.A.1. Contain growth in and adjacent to existing community areas.

Action 1.A.1.b. New residential development for permanent year-round residents should be concentrated in existing community areas.

WHEELER CREST LAND USE POLICIES

GOAL 24. Retain, as nearly as possible, the character and quality of life presently enjoyed in the community.

Objective 24.A. Prevent incompatible or conflicting uses within the Wheeler Crest community.

Policy 24.A.1. The timing and location of new residential developments shall be directed to areas with existing services or adjacent to areas with existing services (i.e., fire protection, water supply, sewage and utilities).

Action 24.A.1.d. Consider, and mitigate, the cumulative impact of any new development prior to project approval.

Policy 24.A.3. Retain the rural residential character of the entire study area.

Action 24.A.3.a. Permit only single-family residential and related accessory structures.

MONO COUNTY GENERAL PLAN CHAPTER 4 – GENERAL DEVELOPMENT

SECTION 04.120.F. Habitat and Wildlife Setbacks.

1. Lakes, Streams/Creeks. In order to minimize the impact to areas with lakes, streams and creeks, the following procedures shall be applicable (specific plans or area plans may be more restrictive or less restrictive, and shall take precedence):

a. Definitions. A major stream is shown as a permanent stream on a US Geological Survey (USGS) map, and is a continuously flowing water body. A minor stream is shown as an intermittent stream on a USGS topographic map and is a permanent stream with low flow during all or part of the year. Seasonal streams not shown on a USGS map are not subject to this section, unless determined otherwise in accordance with subparagraph C of this subdivision. A lake is an accumulation of water, larger than a pool or pond,

generally formed by a natural or man-made obstruction in the course of flowing water that is shown on a USGS map.

b. New development shall be subject to the following minimum setbacks from any lake, and major or minor stream. Any proposed structure, including associated impervious surfaces, shall be located a minimum of 30 feet from the top of the bank. Greater setback requirements may be imposed through the land division and/or environmental review process if determined necessary to protect the water body and riparian resource. Deviations of these setback requirements may be granted if the mandatory Director Review findings can be made and the applicant can demonstrate that the proposed construction will not result in a significant adverse impact on the water body or the riparian area. Such Director Review applications shall include a landscaping plan that illustrates all project site disturbance areas and specifies a comprehensive program for restoring the disturbed areas.

f. *That the project is exempt from CEQA.*

This project qualifies as a Class 3, 15303 Categorical Exemption for New Construction or Conversion of Small Structures:

Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to:

- (a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption;
- (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences.

ATTACHMENTS

- A. Conditions of Approval
- B. Project Plans

Attachment A**CONDITIONS OF APPROVAL**

DR 24-007 is issued with the following conditions:

- 1) All utilities shall be installed underground (Mono County General Plan, 11.010.D).
- 2) Best Management Practice (BMP), pertaining to protection of the stream shall be instituted as listed or as directed by the Building Division.
 - a) Straw waddles shall be installed between the structures and stream during the construction of the residence, garage, and associated site work.
 - b) There shall be no heavy equipment operating between the garage and stream during construction.
 - c) There shall be no construction material stored between the structures and stream.
 - d) If compromising weather is likely (rain/high wind), effort shall be taken to assure there will be no construction-related runoff toward the creek area.
 - e) During construction, there shall be daily patrol of the setback and creek area to remove any construction debris.
- 3) There shall be no storage of material of any type in the stream setback area, such as refuse, sheds, machinery, cut plant material, etc.
- 4) There shall be no new unstabilized or bare ground in the stream setback area as a result of construction activities. Native vegetation shall be replanted wherever disturbed.
- 5) The property owner shall, wherever possible, preserve existing native vegetation outside of the proposed building footprints, in particular between the structures and the stream.
- 6) The property owner shall maintain the stream setback area in a neat and clutter-free manner at all times. If needed, the property owner shall remove material from the stream area to prevent blockage of the drainage easement.
- 7) Any future additions to this property shall meet all the required setbacks in accordance the requirements of the Mono County General Plan.
- 8) There shall be no new construction, additions or landscaping, uses or parking between the building and stream area beyond that illustrated on the landscaping plan (Attachment "B") without a new Director Review Permit and/or other applicable required permits.
- 9) Appeal. The Director Review permit shall become effective 10 days following the issuance of the Director's decision. During the 10-day period, an appeal may be filed in accordance with Chapter 47. If an appeal is filed, the permit will not be issued until the appeal is considered and a decision is rendered by the Planning Commission. (Section.31.060)

Notice is hereby given pursuant to Code of Civil Procedure Section 1094.6 that the time within which to bring an action challenging the County's decision is 90 days from the date the decision becomes final. If no appeal is made to the Planning Commission, the staff decision shall become final on the expiration of the time to bring an appeal.

Notice is also hereby given that failure to exhaust administrative remedies by filing an appeal to the Planning Commission may bar any action challenging staff's decision.

10) Termination. A Director Review shall terminate, and all rights granted therein shall lapse, and the property affected thereby shall be subject to all the provisions and regulations applicable to the land use designation in which such property is classified at the time of such abandonment, when any of the following occur:

A. There is a failure to commence the exercise of such rights, as determined by the Director, within one year from the date of approval thereof. Exercise of rights shall mean substantial construction or physical alteration of property in reliance with the terms of the Director Review.

B. There is discontinuance for a continuous period of one year, as determined by the Director, of the exercise of the rights granted.

C. No extension is granted as provided in Section 31.080.

11) Extension: If there is a failure to exercise the rights of the Director Review within one year of the date of approval, the applicant may apply for an extension for an additional one year. Any request for extension shall be filed at least 60 days prior to the date of expiration and shall be accompanied by the appropriate fee. Upon receipt of the request for extension, the Planning Division shall review the application to determine the extent of review necessary. Conditions of Approval for the Director Review may be modified or expanded, including revision of the proposal, if deemed necessary. The Planning Division may also deny the request for extension. Exception to this provision is permitted for those Director Reviews approved concurrently with a tentative parcel or tract map; in those cases, the approval period(s) shall be the same as for the tentative map.

12) Revocation: The Planning Commission may revoke the rights granted by a Director Review, and the property affected thereby shall be subject to all of the provisions and regulations of the Land Use Designations and Land Development Regulations applicable as of the effective date of revocation. Such revocation shall include the failure to comply with any condition contained in the Director Review or the violation by the owner or tenant of any provision pertaining to the premises for which such Director Review was granted. Before revocation of any permit, the commission shall hold a hearing thereon after giving written notice thereof to the permitted at least 10 days in advance of such hearing. The decision of the commission may be appealed to the Board of Supervisors in accordance with Chapter 47, Appeals, and shall be accompanied by an appropriate filing fee.

This Director Review permit shall become effective 10 days following the issuance of the Director's decision. This decision may be appealed within 10 days by filing a written notice of appeal with the secretary of the Planning Commission. If an appeal is filed, the permit will not be issued until the appeal is considered and the Planning Commission renders a decision.

PREPARED BY: Rob Makoske DATE OF DECISION: 8/12/24

SIGNED: Wendy Sugimura
Wendy Sugimura, Community Development Director

B24-032

Finish Details

Roof -ASC 'Chestnut Brown'

Building's (House & Garage) main body- Dunn Edwards 'Meek Moss' .

Building's (House & Garage) Window trim and boarders- Dunn Edwards 'Brooding Storm'

Windows will all be Dark bronze anodized Aluminum or Fiberglass.

COLOR CHART

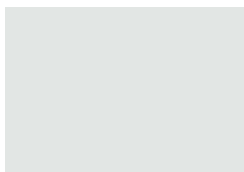
Not all colors and profiles are available at all locations. Please see back of color card for details.

STANDARD COLORS

We recommend you request a physical sample to review before ordering. We are not responsible for color variations.



ZINCALUME® Plus*
SRI: 64 • LRV: 67



WINTER WHITE
SRI: 88 • LRV: 74



SURF WHITE
SRI: 74 • LRV: 59



LIGHT STONE
SRI: 70 • LRV: 53



DESERT BEIGE
SRI: 58 • LRV: 39



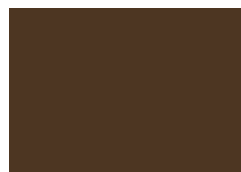
CASCADE GRAY
SRI: 58 • LRV: 41



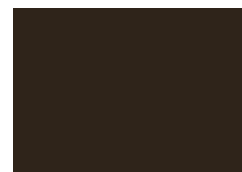
TAUPE
SRI: 53 • LRV: 28



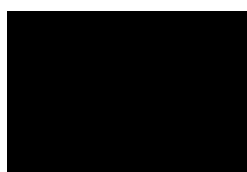
PATINA STEEL
SRI: 38 • LRV: 17



CHESTNUT BROWN
SRI: 36 • LRV: 12



CLASSIC BROWN
SRI: 29 • LRV: 7



MATTE BLACK
SRI: N/A • LRV: 5



CANYON RED
SRI: 45 • LRV: 16



RUSTIC RED
SRI: 43 • LRV: 13



OLD TOWN GRAY
SRI: 43 • LRV: 27



OLD ZINC GRAY
SRI: 43 • LRV: 22



WEATHERED COPPER
SRI: 32 • LRV: 11



SLATE GRAY
SRI: 32 • LRV: 13



TAHOE BLUE
SRI: 33 • LRV: 14



EVERGLADE
SRI: 35 • LRV: 19



DENALI GREEN
SRI: 29 • LRV: 11



FOREST GREEN
SRI: 36 • LRV: 8



COPPER PENNY¹
SRI: 53 • LRV: 28



NATURAL RUST¹
SRI: 32 • LRV: 10
(Subject to upcharge)



IRONOX²
SRI: N/A • LRV: N/A

MEASURED ON A SCALE OF 0 - 100

Light Reflective Value (LRV)
Measures how much visible light a color reflects and how much it absorbs. The **higher** the LRV, the **more reflective** it will be.

Solar Reflective Index (SRI)
Measures the amount of **heat reflected** from painted metal roof. The higher the SRI value, the cooler the metal will be, helping cut down on **energy costs** to keep your **home cool**.

SRI values in accordance with ASTM E1980 and are based on independent testing. Cool Roof Rating Council (CRRC) performance values (for CA Title 24) are based on color families and will differ from above.

SRI=Solar Reflective Index. LRV=Light Reflectance Value. GA= Gauge of Steel. *Clear acrylic coated.

¹Please note, these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects.

²IronOx is black steel (uncoated and unpainted), that rusts naturally. No warranty is offered or implied. Only available in 22 GA Nu-Wave® Corrugated.

REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.

Sample color chips are available upon request. Consult your ASC Building Products representative for more information.

PRODUCT DETAILS AND SPECS

Color Key																			
Dura Tech™ xl (SMP)		12" Skyline Roofing®		16" Skyline Roofing®		2½" Corrugated		24" Delta Rib™		36" Nor-Clad®		36" Strata Rib®		36" Delta Rib™ III		36" PBR Panel		36" Nu-Wave® Corrugated	
ColorGuard 25 with Spectrascape® (Polyester)																			
Dura Tech™ nt (SMP)																			
ZINCALUME® Plus (Unpainted product)																			
Premium Color (Subject to upcharge)																			
Colors & Gauges		26	26	29	26	29	26	29	26	29	26	29	26	29	26	26	26	26	
ZINCALUME® Plus		AK/CA OR/WA		1	WA			AK/CA OR/WA		AK/CA OR/WA									
Winter White		CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Surf White								OR WA		OR WA									
Light Stone		CA OR/WA						AK OR/WA	CA OR/WA	AK OR/WA	CA OR/WA								
Desert Beige								AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Cascade Gray								OR		OR									
Taupe								CA OR/WA		CA OR/WA									
Patina Steel		CA OR/WA						CA OR/WA		CA OR/WA									
Chestnut Brown		AK/CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Classic Brown		AK/CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Matte Black		AK/CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Canyon Red								AK/CA OR/WA		AK/CA OR/WA									
Rustic Red		AK/CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Old Town Gray		CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Old Zinc Gray		AK/CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Weathered Copper		AK/CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Slate Gray		AK/CA OR/WA			CA			AK/CA OR/WA		AK/CA OR/WA									
Tahoe Blue		AK/CA OR/WA			WA			AK/CA OR/WA		OR	AK/CA OR/WA		OR						
Everglade		CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Denali Green		AK/CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Forest Green		AK/CA OR/WA						AK/CA OR/WA	OR WA	AK/CA OR/WA	WA								
Copper Penny*		AK/CA OR/WA						AK/CA OR/WA		AK/CA OR/WA									
Natural Rust*		AK/CA OR/WA		1				AK WA		AK WA									
IronOx ²																			2
Production Locations																			
Anchorage, Alaska (AK)		Salem, OR.		Multiple Locations (See Key)		Sacramento, CA.		Sacramento, CA.		Sacramento, CA., Spokane, WA.		Sacramento, CA.		Multiple Locations (See Key)		Sacramento, CA., Salem, OR.		Multiple Locations (See Key)	
Sacramento, California (CA)																			
Salem, Oregon (OR)																			
Spokane, Washington (WA)																			

FOOTNOTES:

1) Also available in 32" Net Coverage.
 2) IronOx is black steel (uncoated and unpainted), that rusts naturally.
 No warranty is offered or implied. Only available in 22 GA Nu-Wave® Corrugated.

Dura Tech™ 5000/mx (PVDF) 24ga & 22ga colors available for:
 Skyline Roofing hp, Nu-Wave Corrugated, PBR Panel, and Design Span hp.
 See ascbp.com for Dura Tech™ 5000/mx color chart.

* Please note these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects. We recommend you request a sample of current stocked material to review actual color before ordering to ensure color accuracy.

WE ARE NOT RESPONSIBLE FOR COLOR VARIATIONS.

FINISHES DEVELOPED BY



DURA TECH™ xl (SMP) Silicone Modified Polyester Coatings

Technical Data Sheet

Dura Tech™ xl is an SMP paint system that is made of a durable resin combined with cool pigment technology. This system provides excellent color retention, and resistance to chalk and fade, while reducing energy demands.

SPECIFICATIONS	TEST STANDARD	COATED STEEL SUBSTRATE ¹
Dry Film Thickness (Nominal)	ASTM D1005	0.15-.030 mil primer 0.70-0.90 mil topcoat
Gloss	ASTM D523 @ 60°	10-80+
Solar Reflectance	ASTM E903, ASTM E1918 (using portable reflectometer)	.25 (25%) min.
Emissivity	ASTM C1371, ASTM E408	.80 (80%) min.
Pencil Hardness	ASTM D3363	F Min.
Flexibility ²	T-bend, ASTM D4145	2 T-bend, no pick-off
Adhesion	ASTM D3359	1.5x metal thickness, no adhesion loss
Reverse Impact	ASTM D2794	2x gauge or 80" lbs.
Abrasion, Falling Sand	ASTM D968	25-40 l/mil
Mortar Resistance	ASTM C267	No effect
Detergent Resistance	ASTM D2248 (3% detergent @ 100° F-72 hrs.)	No effect
Acid Resistance	ASTM D1308 10% muratic acid - 15 min. 20% sulfuric acid - 24 hrs.	No effect No effect
Acid Rain Test	Kesternich SO ₂ DIN 50018	10 cycles No objectionable changes
Alkali Resistance	ASTM D1308 (10%, 20% NaOH, 1 hr.)	No effect
Salt Spray Resistance	ASTM B117 (5% salt fog @ 95° F)	Passes 1,000 hrs.
Humidity Resistance	ASTM D714, ASTM D2247 (100% relative humidity @ 95° F)	Passes 1,000 hrs. (No blisters, cracks or peeling)
Exterior Exposure	ASTM D2244, ASTM D4214 (10 yrs. @ 45° F, South Florida)	Max. 5 fade Max. 8 chalk

FINISH WARRANTIES

Dura Tech™ xl finishes are offered with a Limited Lifetime Residential Warranty and a 25 year Non-Residential Limited Warranty.

COMPOSITION & APPLICATION

Dura Tech™ xl coatings are factory applied, oven cured formulas applied by approved coil coaters. They utilize Silicon Modified Polyester (SMP) resins and inorganic, IR reflective pigments for superior long-term performance.

PRETREATMENT

All substrates are pre-treated in accordance with paint manufacturer's instructions. The pretreatment is to provide a suitable surface for application of the recommended primer.

BATCH SENSITIVE PRODUCTS - PEARLESCENT METALLIC & PRINTS

For select finishes, minor differences in color and appearance are normal and to be expected, due to the use of variable color pigments or finish patterns. To minimize the possible visual effects from the minor variations in these products, an entire job should be sourced at one time. Additionally, fabricated panels, flat sheets, and flashings should be orientated in the same direction for installation. Contact your ASC Building Products representative for more information.

¹ Coated steel includes the following types of steel G90 hot dip galvanized, Galvalume®, and ZINCALUME®.

² Fracturing or rupturing of substrate will rupture coatings. Heavy gauge and clad steel substrates impose limitations on formability.



WE ARE NOT RESPONSIBLE FOR COLOR VARIATIONS.

Sample color chips are available upon request. Consult your ASC Building Products representative for more information.



Search



HOME | OPACITY & COLOR | BROWSE COLORS | BROWN | [BARK-SEMI-SOLID](#)

Bark



COLOR INFORMATION

FAMILY

Brown

Always test stain on a hidden area of the wood to verify desired color.

Wood species will impact final color.

Color may vary slightly by product technology/type.

Colors Available In





BROODING STORM

Brooding_Storm | DET604

TRIM

[White Picket Fence | DET648](#)

ACCENT

[Sonoma Chardonnay | DET471](#)



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[ORDER FREE COLOR CHIP](#)



[INSTACOLOR ROOM VISUALIZER](#)

BROODING STORM PAINT COLOR

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval or final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended and is easily done [online](#) or [in-stores](#).

DUNN-EDWARDS ID:

DET604 RL#901

HEX COLOR CODE:

5E6D6E

RGB COLOR CODE:

94, 109, 110

CMYK COLOR CODE:

15, 1, 0, 57

MUNSELL:

HUE=9.4BG | VALUE=4.4 | CHROMA=1.2

LIGHT REFLECTANCE VALUE:

GET UPDATES

history

LAMPS PLUS

The Nation's Largest Lighting Retailer

Home / Outdoor Lighting / Wall Light / 10 In. High Or Less / Black / Style # 32R54

Mantiel 9 3/4" High Black Outdoor Wall Light

1 Review

Compare at 4 Stores

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In Stock - [Ships in 1 to 2 Days](#)



1

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Product Details

Bold and handsome, this black aluminum outdoor wall light introduces personality that upgrades exterior decor.

Additional Info:

Indulge in a bit of industrial and Early American design aesthetics with this dynamic fixture from Minka Lavery. Incorporating old-time design elements with curves and a circular mount, its stylish shade adds a perfect finishing touch. This black aluminum outdoor wall light sets the tone for a fashionable and sophisticated exterior entertaining space.

MINKA LAVERY

[Shop all Minka Lavery](#)

- 9 3/4" high x 8" wide. Extends 10 1/2" from the wall. Backplate is 5 1/2" wide x 1 1/4" high.
- Uses one maximum 60 watt or equivalent medium base bulb (not included).
- Mantiel outdoor wall light from Minka Lavery for porch, patio, or garage areas.
- Based on gooseneck arm farmhouse barn lights and industrial lighting.
- Black finish. Aluminum construction.
- Wet location rated for outdoor use. Can also be used indoors.

Specifications

Product Attributes

Finish	Black
Style	Farmhouse

Technical Specifications

Height	9.75 inches
Width	8.00 inches



Mono County Community Development

PO Box 347
Mammoth Lakes, CA 93546
760.924.1800, fax 924.1801
commdev@mono.ca.gov

PO Box 8
Bridgeport, CA 93517
760.932.5420, fax 932.5431
www.monocounty.ca.gov

BYLAWS

ARTICLE I – Name, Purpose

- Section 1:** The name of the organization shall be the Wheeler Crest Design Review Committee (WCDRC).
- Section 2:** The Wheeler Crest Design Review Committee (WCDRC) was established by the Board of Supervisors by Ordinance 91-07 on August 20, 1991, and is charged with reviewing single-family residential development within the District, including additions over 200 sf, new garages and accessory structures, for conformity with the Architectural Guidelines of the Wheeler Crest Area Plan. The Committee shall not review plans for interior remodels.

ARTICLE II – Membership

- Section 1:** Membership is open to individuals who either reside or own property within the District.
- Section 2:** The WCDRC shall be composed of up to seven members per Ordinance 15-04.
- Section 3:** Members of the WCDRC shall be appointed by the Mono County Board of Supervisors.
- Section 4:** Application for appointment to the WCDRC shall be made on a form provided by the Community Development Department and may be submitted to the Planning Department at any time.
- Section 5:** Upon appointment to the WCDRC, each new member shall receive and shall review or complete WCDRC Orientation Materials, which shall include information relating to WCDRC design criteria, the Brown Act, ethics training and required Fair Political Practices Commission filings, and any such other information as the WCDRC deems appropriate.
- Section 6:** Up to four members shall serve a term of three (3) years; and up to three members shall be appointed for a term of two (2) years, and subsequent terms shall be for two (2) years
- Section 7:** Resignation, Termination, and Death. Resignation from the WCDRC must be in writing and received by the WCDRC Secretary, Board Supervisor or Mono County Community Development Department. Upon resignation or termination of membership, the Supervisor will select a new member based on previously received or newly submitted applications.
- Section 8:** Members of the Committee may be removed by a majority of the Board of Supervisors for the following reasons:
1. Failure to meet the following attendance requirements: A Committee Member shall not have three consecutive unexcused absences from regular meetings, nor may a Member miss five or more regular meetings in any 12-month period;
 2. Acting inappropriately, in the sole discretion of the Board, in matters regarding conflict of interest or personal bias;
 3. Failure to carry out Member duties over a period of time due to a frequent inability to vote caused by repeated conflict-of-interest issues;
 4. Failure to carry out the duties by repeatedly abstaining on matters when there are no apparent conflict-of-interest or bias issues; and
 5. Any other cause not enumerated herein which, in the opinion of a majority of the Board, reflects the Member's failure to carry out the duties of the Committee, or which brings discredit to the County of Mono.

ARTICLE III - Officers

- Section 1:** The Officers of the Committee shall include a Chair, Vice-Chair and Secretary. Officers shall be elected annually at the March meeting.
- Section 2:** The Chair shall convene and conduct all meetings in an orderly manner.
- Section 3:** The Vice-Chair, in the absence of the Chair, shall be responsible for conducting meetings. The Secretary shall run the meeting in the absence of the Chair and the Vice Chair.
- Section 4:** The Secretary shall be responsible for taking minutes which shall include actions of the Committee and record of public comment. Minutes shall be provided to the Community Development Department staff for recording.
- Section 5:** Vacancies. When an Officer vacancy exists, nominations for new officers may be received from present members by the Secretary up to two weeks in advance of a meeting and voted upon at the next meeting. All vacancies will be filled only to the end of the particular Officer's term.

ARTICLE IV - Meetings Of Members

- Section 1:** Regular Meetings. Regular meetings shall be set to be held on the fourth Thursday of each month at 3:00 PM. Meetings shall be held at the Crowley Lake Community Center or another ADA accessible location designated by the members. The Committee may, with the approval of the Chair upon consultation with the Community Development Department or as consensus direction to staff, cancel any regular meeting.
- Section 2:** Special Meetings. Special meetings may be called by the Chair or by a simple majority of the membership.
- Section 3:** Notice. Notice of each meeting shall be given to each member, by email or any other commonly utilized communication method, not less than 72-hours before regular meetings and 24-hours before special meetings. A notification of the meeting shall be publicly posted in compliance with the Brown Act.
- Section 4:** All meetings shall be conducted in an open fashion and in compliance with the Brown Act. All in attendance should be given an opportunity to be heard, no single member may dominate a discussion, and all participants shall treat each other following principles of fairness and respect.
- Section 5:** Quorum. A quorum consists of at least fifty plus one percent of the WCDRC members. A Quorum must be present before business can be transacted or motions made or passed. If a quorum is not met, the committee shall defer action on any items until a future meeting.
- Section 6:** Agendas. Each agenda shall meet the requirements of the Brown Act. Members and interested parties who seek to place an item on the agenda shall make such a request to the Community Development Department for approval by the Chair at least three weeks prior to the meeting.
- Section 7:** Participation. Each appointed member shall possess one vote on the WCDRC for purposes of passing resolutions, authorizing actions, and conducting other business. However, local citizens and other interested parties shall be encouraged to participate in discussions and debates with a standing equal to that of members. Meetings shall be conducted according to parliamentary procedures and shall incorporate the principles of justice and courtesy to all, rights of the minority protected, rule of the majority reflected, partiality to none, and consideration of one subject at a time.
- Section 8:** Actions. The WCDRC shall approve such recommendations, resolutions, and correspondence as authorized by a quorum of the members, and actions shall be proposed and voted upon following Robert's Rules of Order.
- Section 9:** Resolutions and motions. Any actions or decisions of the Committee at any meeting shall be expressed by motion, duly seconded, and voted upon by members of the Committee and in compliance with the Brown Act and Roberts Rules of Order..

Every Member must vote except when disqualified by reason of a conflict of interest or as otherwise required by law.

Section 10: Conduct Of Public Hearings. The purpose of a Public Hearing is to provide the public with an opportunity to address the Committee on matters pending before the Committee. The Committee shall consider public comments along with the applicant's and staff's comments prior to taking action. The Chair shall facilitate Public Hearings to elicit all relevant information for decision-making purposes in an orderly and expeditious way.

A. The order of procedure for Public Hearings shall be as follows:

1. The Chair calls for a staff report followed by questions from the Committee, and then opens the Public Hearing. The order of testimony is as follows:
 - a. Applicant's statement;
 - b. Public's statements; and
 - c. Rebuttal statements from applicant and staff if necessary.
2. When all relevant testimony is deemed to have been heard, the Chair shall close the Public Hearing. When a hearing is closed, it shall remain closed except when the matter is continued to another date for further hearing, or when the Chair, or Committee consensus, determines that additional testimony is necessary or desirable, in which case the Chair shall reopen the hearing.
3. Following the close of the public hearing, the Committee shall discuss and deliberate the matter and then either determine the matter or continue it to a date and time certain. The Committee may ask questions of the public, applicant, or appellant as part of its deliberations.
4. If the Design Review Committee raises a new issue through deliberation and seeks to take additional public testimony from the public, applicant, or appellant on the new issue, the public hearing must be reopened and persons given a chance to speak on the new issue. At the conclusion of the public testimony, the public hearing is again closed.
5. The Design Review Committee deliberates and takes action.

B. Rules of Testimony:

1. Persons addressing the Committee shall first secure permission from the Chair. Comments made must be relevant to the matter before the Committee.
2. The Chair may set rules regarding time and relevance of public testimony. The Chair may end testimony when a presentation exceeds the time limit; and may rule "out of order" or otherwise limit repetitive testimony and testimony deemed non-germane. Additionally, irrelevancies (including comments on race, religion, creed, political matters, etc.) shall be ruled out of order by the Chair.
3. All comments shall be addressed to the Committee.
4. If a Member is in possession of extra-record evidence that is relevant to his or her decision making but which does not require recusal, then, the Member shall state such evidence for the record.
5. The Chair shall discourage complaints regarding the staff or individual members of the Committee during a Public Hearing. Complaints should be presented as a separate item on the agenda, or submitted to the Committee in writing for later consideration.

Section 11: Evaluation of Projects.

1. The WCDRC shall review the plans for compatibility with the Architectural Guidelines adopted for the District.

2. In its review, the WCDRC shall identify unacceptable visual qualities of the proposal and request appropriate changes.
3. Proposals may be recommended for approval by the Committee with or without conditions.
4. WCDRC recommendations shall be considered by the Planning Department in the case of building permits or by the reviewing body prior to approval.

Section 12: Decision-Making

1. Voting - Approval of any motion brought before the Committee shall require the affirmative vote of a quorum of the members, unless otherwise specified by law.
2. Tie Votes - Any tie vote shall constitute a denial of the motion and may be reconsidered by a motion offered by any member who voted on the matter. If there is no action by an affirmative vote, the result is no action.
3. Abstentions - Abstentions shall not count as votes for the purpose of determining whether there has been an affirmative vote of a quorum of the members, but shall be counted for the purpose of determining whether a quorum is present, unless the member is abstaining because of a potential conflict of interest in the matter at hand.
4. Roll Call - Voting upon a motion may, at the discretion of the Chairperson, and shall, upon the request of any member, be by roll call. When voting is not by roll call, the Chairperson may, in the absence of objection by any member of the Design Review Committee declare an item to be unanimously approved.

Section 13: Adjournment. The Committee may adjourn any regular, adjourned regular, special or adjourned special meeting to a time and place specified in the order of adjournment. Less than a quorum may so adjourn from time to time. If all members of the Committee are absent from any meeting, staff shall declare the meeting adjourned to a stated time and place. When a regular or adjourned regular meeting is adjourned as provided in this section, the resulting adjourned regular meeting is a regular meeting for all purposes. When an order of adjournment fails to state the hour at which the adjourned meeting is to be held, it shall be held at the hour specified in these rules for regular meetings.

ARTICLE V – Ethics

Section 1: Conflict Of Interest. No Member shall participate in the making of a decision or vote on any item in which he or she has a financial interest as defined in Government Code Sections 87100 et seq. (the Political Reform Act) and its implementing regulations, or a financial interest pursuant to Government Code Section 1090. Further, no Member shall participate in the making of a decision or vote on any item with respect to which he or she is biased or otherwise conflicted due to personal interests, consistent with applicable law. Possible biases, financial interests, and other conflicts of interest shall be discussed with County Counsel.

Section 2: Special Requests To Members. Members shall place in the record of Committee meetings a report of requests for special consideration received from any source either verbally or in writing. The purpose of this section is to keep the public and the Committee informed regarding any showing of unusual or special interest by any person or group in any matter before the Committee.

ARTICLE VI - Amendment To Rules For The Transaction Of Business

Section 1: Amendment To Rules For The Transaction Of Business. These rules may be amended by a vote of the Committee at any regular meeting or special meeting.

ARTICLE VIII – Adoption

The foregoing rules for the transaction of the business of the Wheeler Crest Design Review Committee of the County of Mono were adopted at the regular meeting held on the 23rd day of the month of May and signed by Committee Chair Alisa Adriani.

Alisa Adriani, Chair, Wheeler Crest Design Review Committee

DATED: _____

ATTEST:

Secretary, Wheeler Crest Design Review Committee

DATED: _____