

# Wheeler Crest Design Review Committee

PO Box 347  
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## AGENDA

January 25, 2024 - 10:00 am

Location: Crowley Lake Community Center  
58 Pearson Road, Crowley Lake, CA 93546

1. Call To Order
2. Public Comment for items not listed on the agenda  
*(Speakers may be limited to 3 minutes each.)*
3. Review and adopt minutes from the October 26, 2023 meeting (pg. 1)
4. PUBLIC HEARINGS: Review current building plans for compliance with the Architectural Guidelines in Appendix B of the Wheeler Crest Area Plan adopted as the Design Review Standards for the District by Ordinance 91-07.
  - A. B23-145-QUILES Two sheds connected by a breezeway at existing single-family residence. 248 Sierra Wave, APN 064-230-001 (pg. 4)
  - B. B23-183 WESTERN Single-family residence with attached garage. APN 064-230-002 (pg. 13)
  - C. B23-190 SHOEMAKER Single-family residence with attached garage. 601 Rimrock Dr. APN 064-210-002 (pg. 25)
5. Committee Administration
  - A. Bylaws (pg. 35)
6. Informational planning staff updates
  - A. Grading and Drainage Workshop (Public Works Staff)
7. Future Agenda Items
  - A. Review of WCDR standards; discussion to potentially recommend changes to the Board of Supervisors
  - B. Potential for indexing recorded WCDRC documents against APNs
8. Adjourn

In compliance with the Americans with Disabilities Act, anyone who needs special assistance to attend this meeting can contact the Mono County staff coordinator at (760) 924-1810 within 48 hours prior to the meeting in order to ensure accessibility (see 42 USCS 12132, 28CFR 35.130).

Members: Bob Weiland, Judy Beard, Alisa Adriani, Greta Mettauer, Rico Miledi, Reuben Rosen, Meredith Frolio

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## Wheeler Crest Design Review Committee

### Meeting Minutes

10/26/2023 at 10:00 am

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**Committee Members Present:** Alisa Adriani, Rico Miledi, Greta Mettauer, Reuben Rosen

**Committee Members Absent:** Bob Weiland, Judy Beard

**Staff:** Brent Calloway, Principal Community Planner

1. **Call to Order** – Crowley Lake Community Center  
 By whom: Alisa Adriani 10:02 am
  
2. **Public Comments** – opened at 10:02 am; closed at 10:02 am  
 No public comments
  
3. **Minutes from 9/28 Meeting**  
**Motion:** Approve minutes as written from the 9/28 meeting 10:02 am  
  
 By Adriani, Second by Rosen  
  
 Ayes – 4    Nays – 0 (all approved)
  
4. **Public Administration**
  - A. B23-099 – Proposal for New Single Family residences and a guest house located at APN:064-090-014-000
 

Public Hearing opened at	10:03 am
Public Hearing closed at	11:03 am

Items F,G & H Incomplete on Application

**Motion:** Approve building permit B23-099 with the condition that all color swatches for exterior materials be submitted to the WCDRC and approved prior to final inspection. In addition, see application for further recommendations/observations.

By Mettauer, Second by Adriani

Ayes – 4    Nays – 0 (all approved)

5. Committee Administration 11:07 am
- Bylaws – Will postpone further discussion until all members are in attendance.
  - Committee has requested that Application be updated to clearly state that color swatches or choices be provided with the initial application. If homeowners are not sure, the committee is suggesting that a range or multiple colors be provided in order to expedite the process.
  - Question to staff – can we have an application review committee to verify up front that all information is provided in order to expedite the process and ensure that application is complete.

6. Informational planning staff updates 11:26 am  
Meredith Frolio's application is on the 11/21/23 Board of Supervisor Approval Agenda.

There has been an application submitted for two sheds that should be coming to committee soon.

7. Future Agenda Items 11:27 am
- Public Works grading standards workshop – Maybe possible to meet in January of 2024. Brent Calloway to follow up and will reach back out to the committee to schedule.
  - Review of WCDR standards; discussion to potentially recommend changes to the Board of Supervisors. Rico is gathering a list and committee will review.
  - Potential for indexing recorded WCDRC documents against APNs – On going no update.

8. Next meeting: TBD

9. Adjourn 11:53am

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**Mono County Community  
Development**

# Mono County Community Development Department

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## Planning Division

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### WHEELER CREST DESIGN REVIEW DISTRICT PROJECT INFORMATION SHEET

APPLICANT Chris Quiles

ASSESSOR PARCEL # 064-230-001

PROJECT DESCRIPTION (e.g., single-family residence, garage, etc.)  
Shed AND Breezeway

#### BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

#### EXAMPLE

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**  
Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed. N/A

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**  
Please explain how your project complies with the following design criteria: N/A

**Design Criteria:** All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

B.  **Paint color for any portions of construction grade foundation work that extend above the finished grade.**

Please explain how your project complies with the following design criteria (lines on next page):

Foundation for shed extends approx 6" above grade. Painting this is not applicable.

**Design Criteria:** Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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\_\_\_\_\_

C.  **Paint or stain color for exposed under portions of elevated decks and porches.**

Please explain how your project complies with the following design criteria:

N/A

\_\_\_\_\_  
\_\_\_\_\_

**Design Criteria:** Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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\_\_\_\_\_

D.  **Siding materials and pattern of application.**

Please explain how your project complies with the following design criteria:

All siding is fire resistant Hardi-Plank with a metal roof.

**Design Criteria:** Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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\_\_\_\_\_

E.

**Color for any aluminum sash.**

Please explain how your project complies with the following design criteria:

\_\_\_\_\_  
N/A  
\_\_\_\_\_

**Design Criteria:** Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

F.

**Paint colors for all exposed metal.**

Please explain how your project complies with the following design criteria:

\_\_\_\_\_  
Shed AND Breezeway COLOR AND CONSTRUCTION  
MATERIAL SHALL MIRROR EXISTING HOUSE.  
\_\_\_\_\_

**Design Criteria:** All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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\_\_\_\_\_

G.

**Roof materials**

Please explain how your project complies with the following design criteria:

\_\_\_\_\_  
The METAL ROOF ON THIS PROJECT MIRRORS  
The existing house  
\_\_\_\_\_

**Design Criteria:** Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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\_\_\_\_\_

H.

**Color and type of exterior stains and finishes.**

Please explain how your project complies with the following design criteria:

\_\_\_\_\_  
All colors ON THIS PROJECT MIRROR THE  
EXISTING HOUSE.  
\_\_\_\_\_

**Design Criteria:** Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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I.

**Location of any exterior lighting.**

Please explain how your project complies with the following design criteria:

EACH SHED HAS ONE EXTERIOR LIGHT THAT COMPLIES WITH THE DARK SKY REGULATIONS. FACING DOWNWARD.

**Design Criteria:** Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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**SITE DEVELOPMENT**

J.

**Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.**

Please explain how your project complies with the following design criteria:

N/A. SHED + BREEZWAY WILL BE CONSTRUCTED ON AN EXISTING PAD.

**Design Criteria:** The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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K.

**Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).**

Please explain how your project complies with the following design criteria:

N/A



**Design Criteria:** Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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L.

**Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).**

Please explain how your project complies with the following design criteria:

N/A. Shed and breezeway are to be constructed on an existing pad/patio with runoff devices previously addressed.

**Design Criteria:** Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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M.

**Fencing location, design and materials.**

Please explain how your project complies with the following design criteria:

N/A

**Design Criteria:** Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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N.

**Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).**

Please explain how your project complies with the following design criteria:

*N/A*

**Design Criteria:** Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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O.

**The items checked above have been included with the building plans and plot plan for Plan Check #**

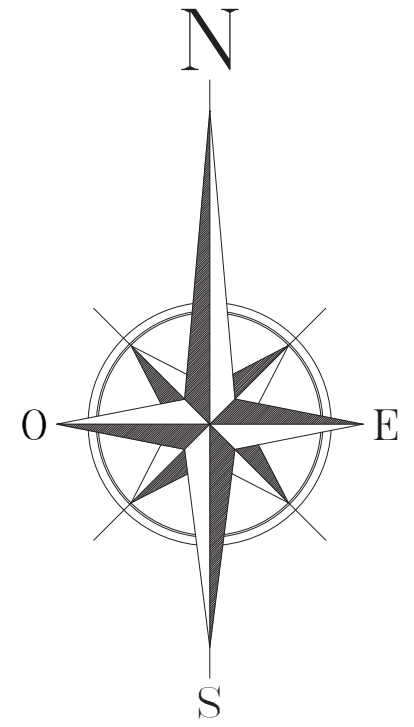
*# B23-145*

*Chris Ouler*

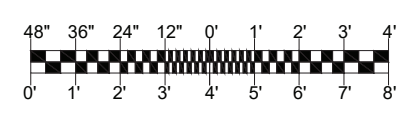
Signature

*12-10-2023*

Date



**SITE PLAN**  
SCALE: 1" = 30'



CUSTOMER INFO

JOB ADDRESS:

DATE :  
07 - 28 - 2023

DRAWER CHECKED BY

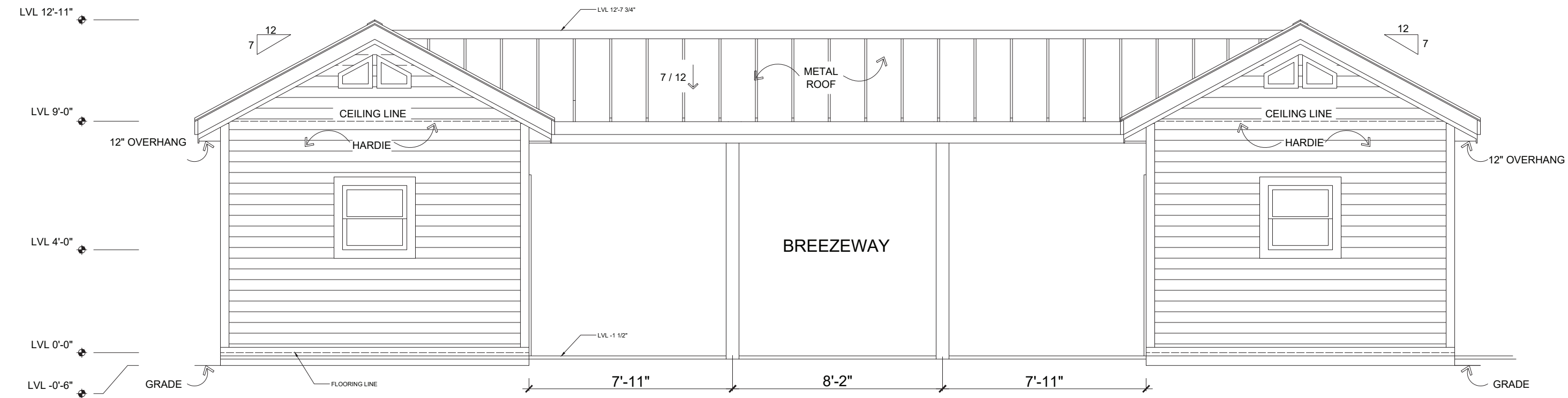
STOCK PLAN #

REVISED BY

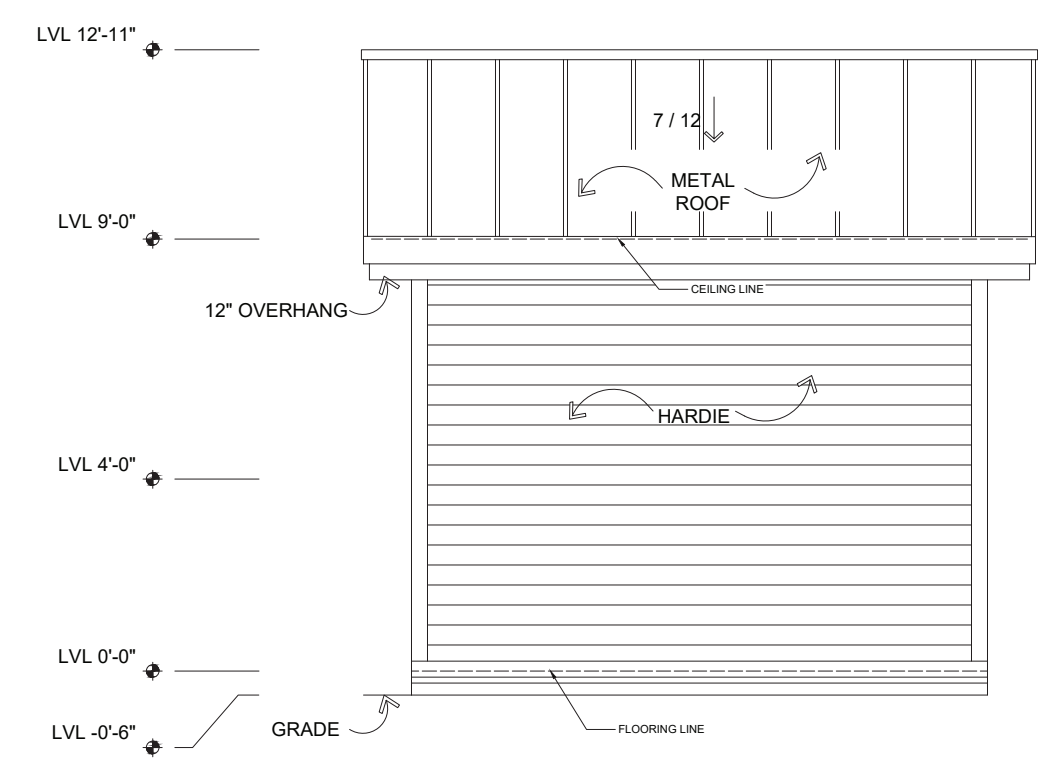
DATE REVISED

SHEET  
0 OF A

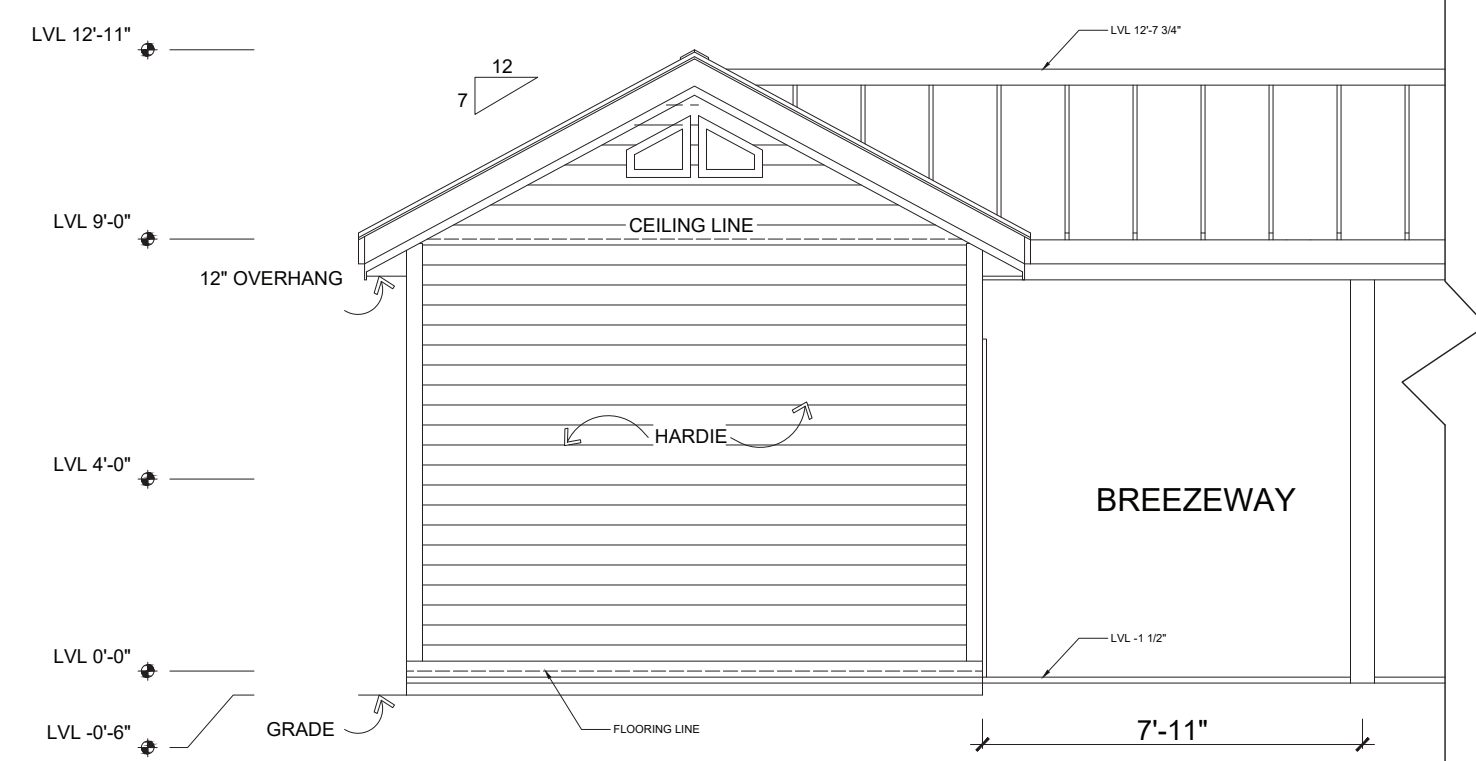
**PLAN NUMBER**



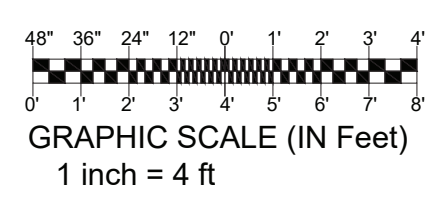
**2-0 FRONT VIEW**  
**A** SCALE: 1/4" = 1'



**2-1 SIDE VIEW**  
**A** SCALE: 1/4" = 1'



**2-2 REAR VIEW**  
**A** SCALE: 1/4" = 1'



CUSTOMER INFO

JOB ADDRESS:

DATE :  
07 - 28 - 2023

DRAWER CHECKED BY

STOCK PLAN #

REVISED BY

DATE REVISED

**SHEET**  
**2** OF **A**

**PLAN NUMBER**

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**Mono County Community  
Development**

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### WHEELER CREST DESIGN REVIEW DISTRICT PROJECT INFORMATION SHEET

**APPLICANT** \_\_\_\_\_

**ASSESSOR PARCEL #** \_\_\_\_\_

**PROJECT DESCRIPTION** (e.g., single-family residence, garage, etc.)  
\_\_\_\_\_

#### BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

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**EXAMPLE**

**A.  Location of all utility boxes, transformers, propane tanks and metering devices.**  
Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

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**A.  Location of all utility boxes, transformers, propane tanks and metering devices.**  
Please explain how your project complies with the following design criteria:

**Design Criteria:** All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_

**B.  Paint color for any portions of construction grade foundation work that extend above the finished grade.**

Please explain how your project complies with the following design criteria (*lines on next page*):

**Design Criteria:** Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**C.  Paint or stain color for exposed under portions of elevated decks and porches.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**D.  Siding materials and pattern of application.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**E.  Color for any aluminum sash.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**F.  Paint colors for all exposed metal.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**G.  Roof materials**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**H.  Color and type of exterior stains and finishes.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**I.  Location of any exterior lighting.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Exterior lighting should be minimized, and indirect lighting should be encouraged.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**SITE DEVELOPMENT**

**J.  Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**K.  Contour lines and any required cut and fill (show original and proposed cut and fill lines from all elevations).**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**L.  Location and types of devices to control runoff from impervious surfaces (e.g., drip trenches, French drains, etc.).**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**M.  Fencing location, design and materials.**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call

attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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**N.  Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of proposed irrigation system (if necessary).**

Please explain how your project complies with the following design criteria:

**Design Criteria:** Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies
- Does Not Comply
- Not Applicable

Design Review Committee Notes:

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**O.  The items checked above have been included with the building plans and plot plan for Plan Check # \_\_\_\_\_**

  
 \_\_\_\_\_  
 Signature

8/23/2023  
 \_\_\_\_\_  
 Date

# PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

**APPLICANT** \_\_\_\_\_

**ASSESSOR PARCEL #** \_\_\_\_\_

**PROJECT DESCRIPTION** \_\_\_\_\_

(e.g., single-family residence, garage, etc.)

**WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:**

Recommended for approval:  without conditions  with attached conditions

\_\_\_\_\_  
Chair, Wheeler Crest Design Review Committee

\_\_\_\_\_  
Date

*The Wheeler Crest Design Review Committee recommends the following findings and conditions:*

Complies with guidelines

Does not comply with guidelines (please summarize items inconsistent with guidelines)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**COMMUNITY DEVELOPMENT DETERMINATION:**

Hold for further review/information (see attached letter for detail)

Approved with no conditions

Approved with the following conditions

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Community Development Department

\_\_\_\_\_  
Date

**PLUM DESIGN &  
CONSTRUCTION**

2620 SIERRA VISTA WAY  
BISHOP, CA 93514

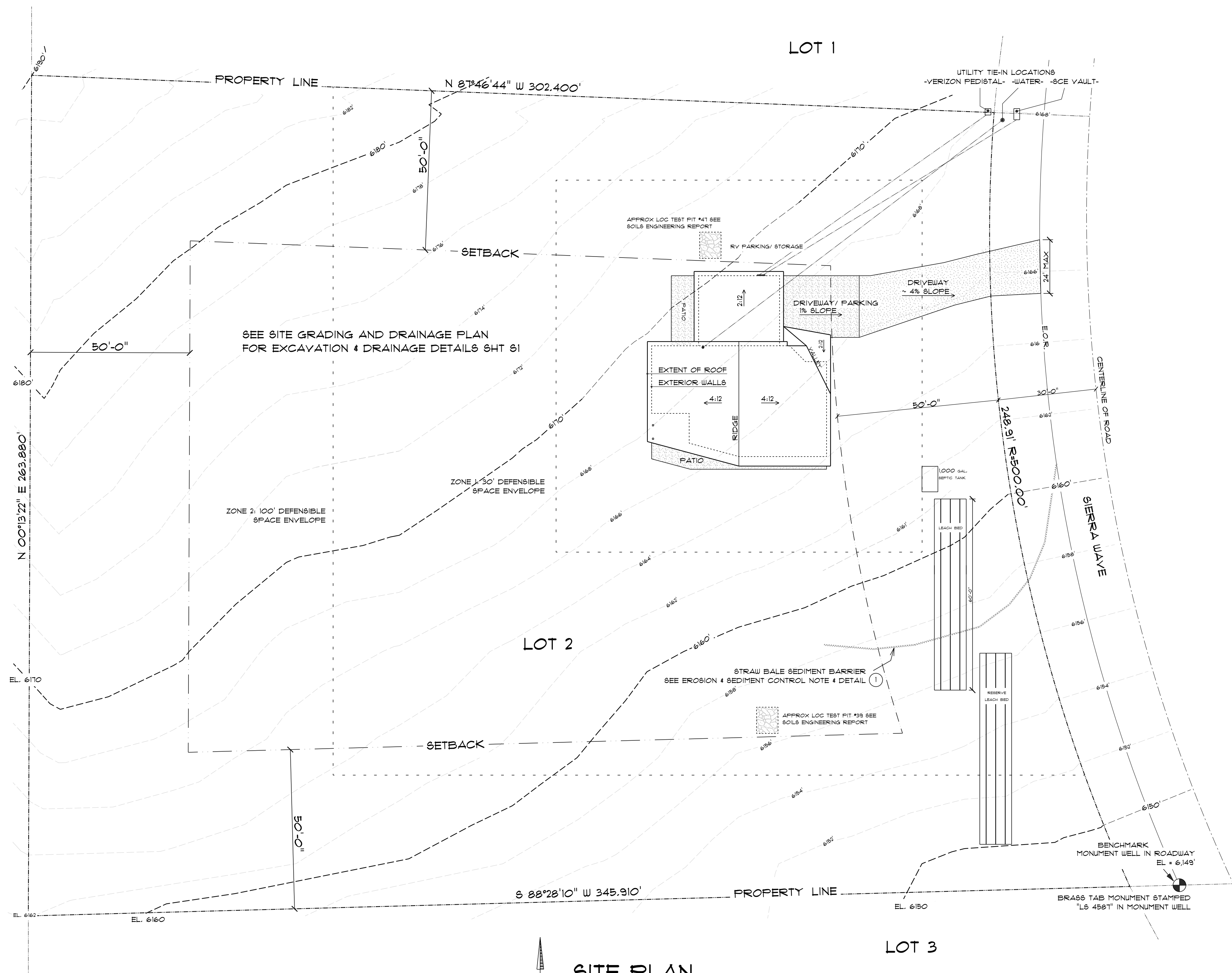
PLUMDESIGN2003@GMAIL.COM

760.965.6698

DRAWN BY: JSP 11/20/2023

Ca. Lic. # 875346

CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE



**SITE PLAN**  
SCALE: 1" = 20'-0"

**EROSION & SEDIMENT CONTROL**

BEST MANAGEMENT PRACTICES (BMP) SHALL CONSIST OF THE FOLLOWING:

**1. DUST CONTROL**

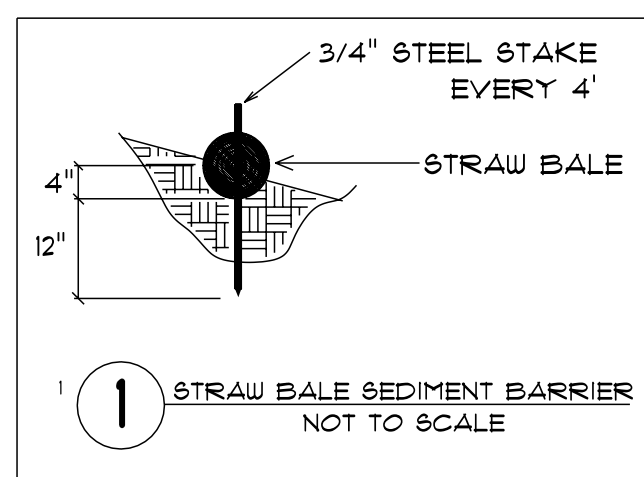
SPRINKLING - THE SITE IS SPRINKLED WITH WATER AS NEEDED TO KEEP THE SURFACE MOISTENED TO A DEPTH OF 2-3 INCHES, BUT IS NOT SATURATED.

**2. STRAW BALE SEDIMENT BARRIERS**

ROW OF STRAW BALES SHALL BE PLACED ALONG THE CONTOUR OF A GENTLE SLOPE OR AT THE TOE OF A STEEPER SLOPE. THEY CAN BE USED IN THIS WAY AROUND THE DISTURBANCE AREA OR NEAR THE PROPERTY BOUNDARY WHERE RUNOFF FROM THE SITE PASSES ONTO AN ADJACENT PROPERTY.

**3. FINAL COVER OF SLOPES**

FINAL COVER, SUCH AS VEGETATION, MULCH, ROCK, OR GRAVEL, VEGETATION MUST BE EVENLY DISTRIBUTED AND COVER AT LEAST 10% OF THE DISTURBED AREA. ALTERNATIVELY, THE DISTURBED AREA CAN BE 100% COVERED BY INERT MATERIALS SUCH AS MULCH, ROCK, OR GRAVEL.



1 STRAW BALE SEDIMENT BARRIER NOT TO SCALE

**DEFENSIBLE SPACE**

PROVIDE ADEQUATE WILDFIRE DEFENSIBLE SPACE AS FOLLOWS:

**ZONE 1 (30' PERIMETER)**

- A) REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS.
- B) REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES.
- C) TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- D) CREATE A SEPARATION BETWEEN TREES, SHRUBS, AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.

**ZONE 2 (100' PERIMETER)**

- A) CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF FOUR INCHES.
- B) CREATE HORIZONTAL SPACE BETWEEN SHRUBS AND TREES. (SEE DIAGRAM)
- C) CREATE VERTICAL SPACE BETWEEN GRASS, SHRUBS AND TREES. (SEE DIAGRAM)
- D) REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF THREE INCHES.
- E) KEEP 10 FEET OF CLEARANCE AROUND EXPOSED WOOD PILES, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.
- F) CLEAR AREAS AROUND OUTBUILDINGS AND PROPANE TANKS. KEEP 10 FEET OF CLEARANCE TO BARE MINERAL SOIL AND NO FLAMMABLE VEGETATION FOR AN ADDITIONAL 10 FEET AROUND THEIR EXTERIOR.

**PROJECT INFORMATION:**  
WESTERN RESIDENCE

**OWNER:**  
JIM & JOAN WESTERN  
514 AMERICAS WAY #4730  
BOX ELDER, SD 57119

**PROJECT SITE:**  
WESTERN RESIDENCE  
LOT #2 SIERRA WAVE  
SMALL MEADOWS, CA 93514

**SITE PLAN**

#	REVISION RECORD	DATE

**A1**

SCALE: As NOTED

# PLUM DESIGN & CONSTRUCTION

2620 SIERRA VISTA WAY  
BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM  
760.965.6698

DRAWN BY: JSP 11/20/2023  
CA. LIC. # 815346

**PROJECT SITE:**  
WESTERN RESIDENCE  
LOT #2 SIERRA WAVE  
SMALL MEADOWS, CA 93514

**PROJECT INFORMATION:**  
WESTERN RESIDENCE

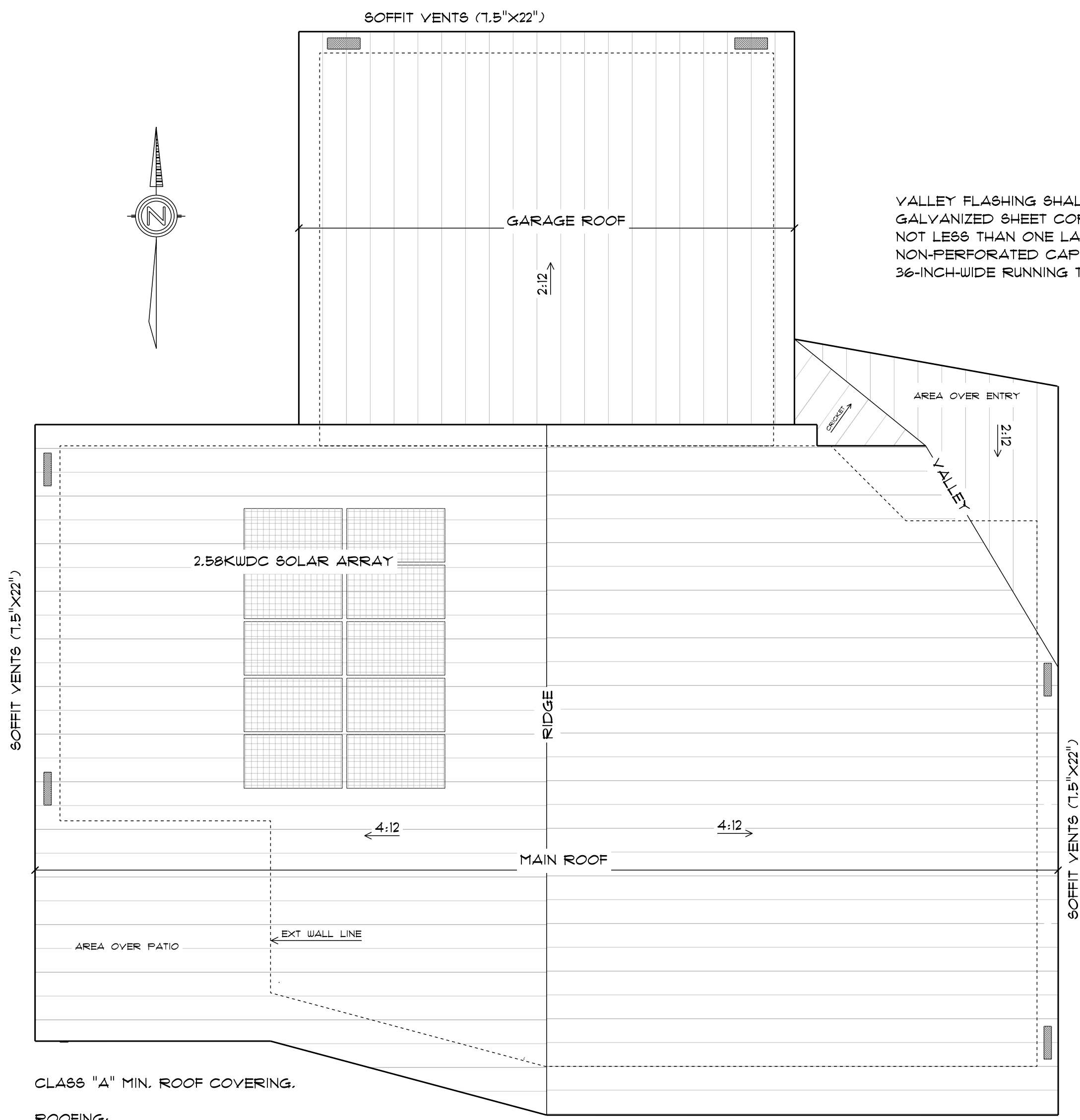
**OWNER:**  
JIM & JOAN WESTERN  
514 AMERICAS WAY #4130  
BOX ELDER, SD 57115

## ELEVATIONS

* REVISION RECORD	DATE

# A3

SCALE: As NOTED



CLASS "A" MIN. ROOF COVERING.

**ROOFING:**  
ASC SKYLINE 16" STANDING SEAM METAL ROOFING,  
DURATECH 5000 MATTE BLACK  
(COOL ROOF RATING COUNCIL PRODUCT I.D. 0818-0046)

**UNDERLAYMENT:**  
GAF TIGERPAW (OR SIM THAT COMPLIES WITH A UL LISTED  
ANSI/UL 790 CLASS A SYSTEM)

### ATTIC VENTILATION CALCULATION

**MAIN ROOF:**  
ATTIC VENTILATION (CRC R806.2 EXCEPTION 2)  
ATTIC SF = 1,668  
1,668 X 1/300 = 5,568 SF  
REQUIRED NFVA: 800 SQ. IN.

MIN REQUIRED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 800 SQ. IN. + 40% = 320 SQ. IN.  
MAX ALLOWED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 800 SQ. IN. + 50% = 400 SQ. IN.

NFVA PROVIDED: 820 SQ. IN.

**GABLE END VENTS**  
(4) 14"x18" (86 NFVA EA) (344 NFVA TOTAL)  
TO BE: VULCAN VG1418FF G90 GALVANIZED, OR SIM.

**SOFFIT VENTS**  
(4) 1.5"x22" (119 NFVA EA) (476 NFVA TOTAL)  
TO BE: VULCAN VENT VET1522FC G90 GALVANIZED, OR SIM.

**GARAGE ROOF:**  
ATTIC VENTILATION (CRC R806.2 EXCEPTION 2)  
ATTIC SF = 560  
560 X 1/300 = 1,878 SF  
REQUIRED NFVA: 269 SQ. IN.

MIN REQUIRED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 269 SQ. IN. + 40% = 108 SQ. IN.  
MAX ALLOWED IN UPPER 3' OF RAFTER OR ATTIC SPACE: 269 SQ. IN. + 50% = 139 SQ. IN.

NFVA PROVIDED: 353 SQ. IN.

**GABLE END VENTS**  
(1) 14"x22" (119 NFVA EA) (119 NFVA TOTAL)  
TO BE: VULCAN VG1422FF G90 GALVANIZED, OR SIM.

**SOFFIT VENTS**  
(2) 1.5"x22" (119 NFVA EA) (238 NFVA TOTAL)  
TO BE: VULCAN VENT VET1522FC G90 GALVANIZED, OR SIM.

TOP ELEVATION  
3/16" = 1'-0"

### EXTERIOR FINISH MATERIALS

**OPAQUE SURFACES:**

1 SIDING 1: CEMENTIOUS FIBER BOARD BOARD & BATTON 16" O.C. 2-1/2" BATTONS

2 SIDING 2: WESTER RED CEDAR SHAKE

3 TRIM: PRIMED SPRUCE

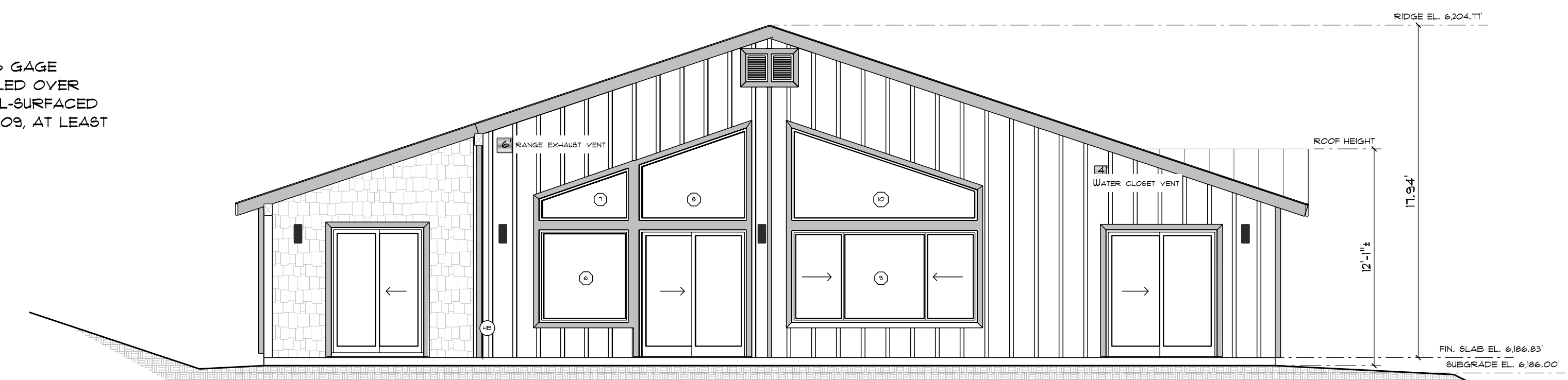
4 ROOFING: ASC SKYLINE 16" STANDING SEAM METAL ROOFING, DURATECH 5000 MATTE BLACK (COOL ROOF RATING COUNCIL PRODUCT I.D. 0818-0046)

### OPENINGS/ FENSTRATION:

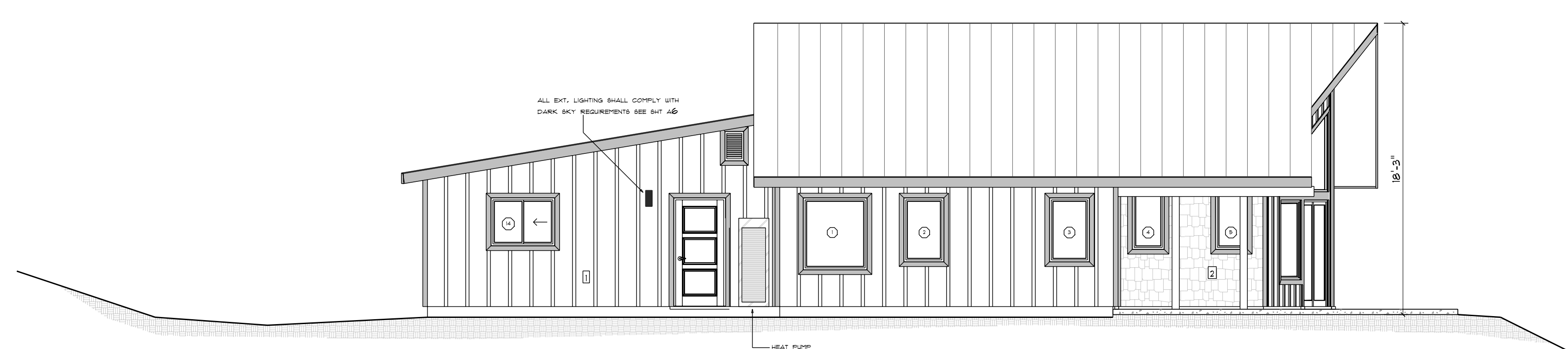
WINDOWS: BLACK ALUMINUM CLAD  
ENTRY DOOR: BLACK STEEL CLAD W/ LITES  
GARAGE PORTAL DOOR: BLACK STEEL CLAD W/ LITES

**NOTE:**  
SEE WUI NOTE & CHECKLIST SHEET 2  
SEE EXTERIOR INSTALLATION DETAILS SHEET A1 (DETAILS 3-13)

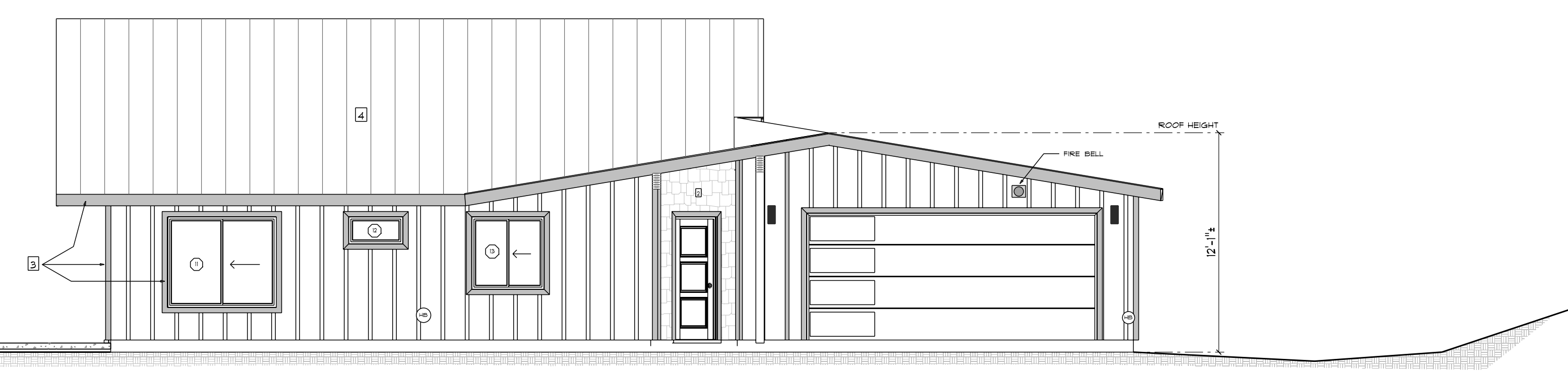
VALLEY FLASHING SHALL BE NOT LESS THAN 0.019" NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 12-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909, AT LEAST 36-INCH-WIDE RUNNING THE FULL LENGTH OF THE VALLEY.



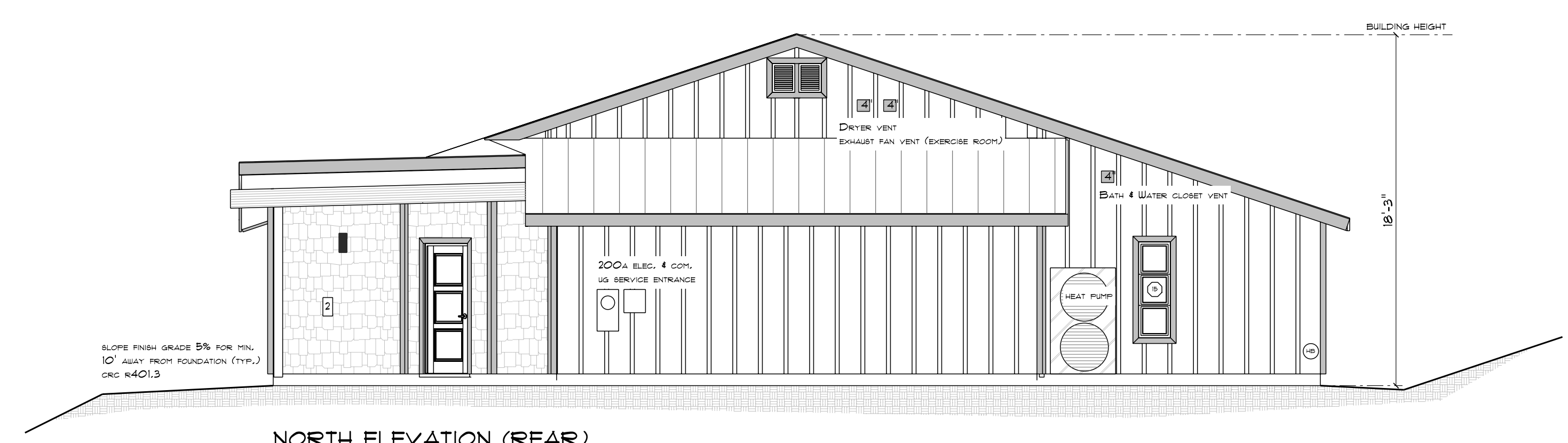
SOUTH ELEVATION (FRONT)  
3/16" = 1'-0"



WEST ELEVATION (SIDE)  
3/16" = 1'-0"



EAST ELEVATION (SIDE)  
3/16" = 1'-0"



NORTH ELEVATION (REAR)  
3/16" = 1'-0"

**GEOTECHNICAL INVESTIGATION:**

INITIAL SOILS INVESTIGATION REPORT TITLED:  
 "SOILS ENGINEERING REPORT FOR TRACT 31-49  
 RIMROCK RANCH PHASE VI, MONO COUNTY, CALIFORNIA"  
 PERFORMED BY: SEIRRA GEOTECHNICAL SERVICES, INC.  
 DATED DECEMBER 23, 2002  
 \*\*REFERENCED IN FOLLOW-UP REPORT LISTED BELOW.

FOLLOW-UP TO SOILS INVESTIGATION REPORT AND REVIEW OF SITE/ GRADING PLAN TITLED:  
 "SITE AND PLAN REVIEW FOR GEOTECHNICAL CONFORMANCE"  
 PERFORMED BY: SEIRRA GEOTECHNICAL SERVICES, INC.  
 DATED NOVEMBER 7, 2023

**EARTHWORK AND GRADING:**

**SUMMARY OF RECOMMENDATIONS FROM SOILS INVESTIGATION REPORT  
 (CITED ABOVE)**

THE FOLLOWING GRADING RECOMMENDATIONS SHOULD BE ADHERED TO FOR PLACING FILL MATERIAL WITHIN STRUCTURAL AREAS (I.E., BUILDING PAD OR PAVEMENT AREAS).

**CUT SLOPES**  
 CUT SLOPES SHALL BE NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL (2:1).

**FILL SLOPE**  
 FILL SLOPES SHALL BE NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL (2:1).

**PREPARATION OF GROUND**  
**A.** REMOVE ALL BRUSH WITHIN AND FIVE FEET BEYOND ALL STRUCTURAL AREAS TO RECEIVE FILL MATERIAL.  
**B.** SURFACES RECEIVING FILL SOILS SHALL BE SCARIFIED AND AERATED OR MOISTENED TO A MOISTURE CONTENT ACCEPTABLE TO THE GEOTECHNICAL ENGINEER AND COMPACTED TO NO LESS THAN 90 PERCENT OF THE MATERIAL'S MAXIMUM DENSITY TO A DEPTH OF 12 INCHES AS DETERMINED BY ASTM D-1557-LATEST EDITION. ALL ROOT MATERIAL TURNED UP DURING SCARIFYING OPERATIONS SHALL BE REMOVED PRIOR TO COMPACTION. THE GEOTECHNICAL ENGINEER SHALL APPROVE AND TEST ALL SCARIFIED AND COMPACTED AREAS PRIOR TO PLACING ANY ADDITIONAL COMPACTED FILL.  
 THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NONCOMPLYING FILL, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND BY SCARIFYING TO PROVIDE A BOND WITH THE NEW FILL. WHERE EXISTING SLOPES ARE STEEPER THAN FIVE (5) HORIZONTAL TO ONE (1) VERTICAL (5:1), THE GROUND SHALL BE PREPARED BY BENCHING INTO COMPETENT MATERIAL, AS DETERMINED BY THE GEOTECHNICAL/ SOIL ENGINEER. THE LOWERMOST BENCH BENEATH THE TOE OF A FILL SLOPE SHALL BE A MINIMUM TEN (10) FEET IN WIDTH. UNSUITABLE SOIL SHALL BE REMOVED PRIOR TO PLACEMENT OF FILL AND DISPOSED OF PROPERLY.

**FILL MATERIAL**  
**C.** ALL IMPORT FILL MATERIAL SHALL CONSIST OF A FREE-DRAINING, GRANULAR MATERIAL APPROVED BY SGGI PRIOR TO PLACEMENT.  
**D.** ALL FILL SOILS SHALL BE PLACED IN LIFTS SUCH THAT AFTER COMPACTION THEY DO NOT EXCEED EIGHT INCHES IN THICKNESS. ROCKS OVER EIGHT INCHES IN DIAMETER SHALL NOT BE PLACED WITHIN STRUCTURAL FILL AREAS. EACH LIFT SHALL BE COMPACTED UNTIL FIELD DENSITY TESTING INDICATES THAT THE IN-PLACE DENSITY OF THE FILL IS NO LESS THAN 90 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557-LATEST EDITION.  
**E.** DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR PLACED IN FILLS. EXCEPT, ROCKS GREATER THAN TWELVE (12) INCHES MAY BE PLACED AS TO BE SURROUNDED BY SOILS; NO NESTING OF ROCKS WILL BE PERMITTED.  
**F.** NO FILL SOILS SHALL BE PLACED DURING UNFAVORABLE WEATHER CONDITIONS. WHEN RAINS INTERRUPT WORK, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL THE FIELD TESTS BY THE GEOTECHNICAL ENGINEER INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE FILL ARE AS PREVIOUSLY SPECIFIED.

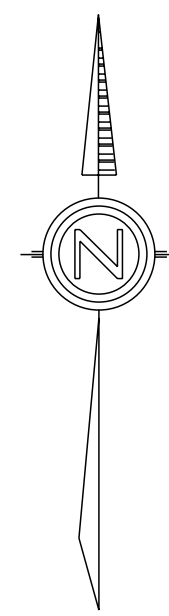
**COMPACTION**  
 ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF NINETY (90) PERCENT OF MAXIMUM DENSITY AS DETERMINED BY AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) ACTIVE STANDARD ASTM D1557 OR EQUIVALENT.  
**E.** FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-2922-LATEST EDITION. FIELD DENSITY TESTS SHALL BE MADE EVERY ONE VERTICAL FOOT OF FILL PLACED.

**SETBACKS**  
**DESIGN STANDARDS FOR SETBACKS**  
 THE TOPS AND THE TOES OF CUT AND FILL SLOPES SHALL BE SET BACK FROM STRUCTURES AS FAR AS NECESSARY FOR ADEQUACY OF FOUNDATION SUPPORT AND TO PREVENT DAMAGE AS A RESULT OF WATER RUNOFF, EROSION, OR MAINTENANCE OF THE SLOPES. UNLESS OTHERWISE APPROVED SETBACKS SHALL BE NO LESS THAN THE LATEST VERSION OF THE CALIFORNIA BUILDING CODE.

**TRENCH BACKFILL:**  
 ALL UTILITY TRENCH BACKFILL SHOULD BE PLACED TO THE FOLLOWING STANDARDS:  
 1. INTERIOR TRENCHES, WITHIN THE BUILDING FOOTPRINTS AND ROADWAYS, SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.  
 2. EXTERIOR TRENCHES, PARALLELING A FOOTING AND EXTENDING BELOW A 1:1 PLANE PROJECTED FROM THE OUTSIDE BOTTOM EDGE OF THE FOOTING, SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.  
 3. ALL TRENCHES IN STRUCTURAL AREAS AND UNDER CONCRETE FLATWORK OR PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION.  
 4. ALL TRENCHES IN THE DRIVEWAY AND PARKING AREAS SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT PER ASTM D-1557-LATEST EDITION, WITH THE UPPER ONE FOOT COMPACTED TO 95 PERCENT RELATIVE COMPACTION.  
 5. ALL TRENCHES IN UNDEVELOPED AREAS SHALL BE COMPACTED TO A MINIMUM OF 85 PERCENT PER ASTM D-1557-LATEST EDITION.  
 6. ALL MATERIAL USED FOR TRENCH BACKFILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.  
 7. SEE UTILITY PLANS FOR TRENCH DETAILS.  
 8. REGULATIONS OF THE GOVERNING AGENCY MAY SUPERSEDE THE ABOVE.  
 9. ALL TRENCH EXCAVATIONS SHOULD CONFORM TO ALL APPLICABLE SAFETY CODES.

**EXCAVATION DETAILS**

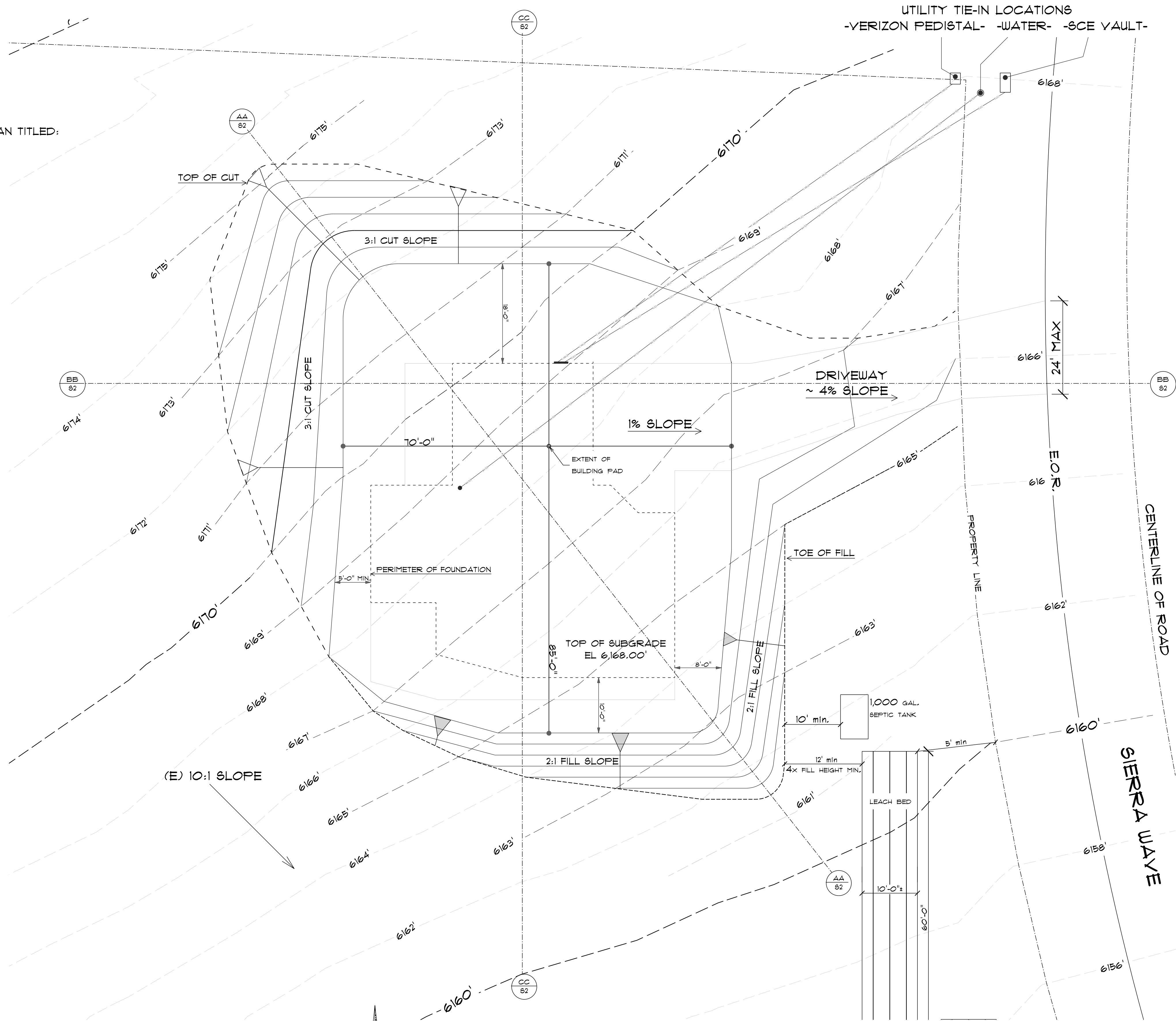
BALANCED EXCAVATION	
TOTAL DISTURBANCE:	~10,100 SF
VOLUME	
CUT:	~525 YD <sup>3</sup>
FILL:	~489 YD <sup>3</sup>



**GRADING & DRAINAGE PLAN**

SCALE 1" = 10'  
 CONTOUR INTERVAL (OVERALL) 2'  
 CONTOUR INTERVAL (GRADING) 1'

LEGEND	
--- (E) CONTOUR	
--- (N) CONTOUR	
- - - (N) UTILITY LOCATION (APPROX)	
- - - SITE PROFILE LINE	
▲ FILL SLOPE	
▲ TOE OF FILL SLOPE	
▲ CUT SLOPE	
--- TOP OF CUT SLOPE	



UTILITY TIE-IN LOCATIONS  
 -VERIZON PEDISTAL- -WATER- -SCE VAULT-

**PLUM DESIGN &  
 CONSTRUCTION**

2620 SIERRA VISTA WAY  
 BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM

760.965.6698

DRAWN BY: JSP 11/20/2023

CA. Lic. # 875346

**PROJECT SITE:**  
 WESTERN RESIDENCE  
 LOT #2 SIERRA WAVE  
 SMALL MEADOWS, CA 93514

**PROJECT INFORMATION:**  
 WESTERN RESIDENCE

**OWNER:**  
 JIM & JOAN WESTERN  
 514 AMERICAS WAY #4730  
 BOX ELDER, SD 57119

**SITE GRADING & DRAINAGE PLAN**

CONSTRUCTION DOCUMENT

#	REVISION RECORD	DATE

**51**

SCALE: AS NOTED

# MINIMUM BURIAL DEPTHS

## GENERAL

TRENCHES SHALL BE BACKFILLED IN THIN LAYERS TO 12" ABOVE THE TOP OF THE PIPING WITH CLEAN EARTH, WHICH SHALL NOT CONTAIN STONES, BOULDERS, CINDERFILL, FROZEN EARTH, CONSTRUCTION DEBRIS, OR OTHER MATERIALS THAT WILL DAMAGE OR BREAK THE PIPING OR CAUSE CORROSIVE ACTION. (CPC 314.4, CEC 300.5(F))

TRENCHES DEEPER THAN THE FOOTING OF A BUILDING OR STRUCTURE, AND PARALLELING THE SAME, SHALL BE LOCATED NOT LESS THAN 45 DEGREES FROM THE BOTTOM EXTERIOR EDGE OF THE FOOTING. (CPC 314.1)

## ELECTRICAL

SEE CEC TABLE 300.5 FOR ELECTRICAL WIRING/CONDUIT MINIMUM COVER REQUIREMENTS.

FOR UNDERGROUND CONDUCTORS BURIED 18" OR MORE BELOW GRADE, A WARNING RIBBON SHALL BE PLACED AT THE TRENCH 12" ABOVE THE UNDERGROUND INSTALLATION. (CEC 300.5(D))

## PLUMBING (GAS)

UNDERGROUND GAS PIPING SHALL BE INSTALLED WITH A COVER OF NOT LESS THAN 12". WHERE EXTERNAL DAMAGE TO THE PIPE OR TUBING IS LIKELY TO RESULT, THE COVER SHALL NOT BE LESS THAN 18". (CPC 1210.1.1)

- FOR PLASTIC PIPING, AN ELECTRICALLY CONTINUOUS CORROSION-RESISTANT TRACER WIRE (NOT LESS THAN 14 AWG) OR TAPE SHALL BE BURIED WITH THE PLASTIC PIPE TO FACILITATE LOCATING. (CPC 1210.1.1.2)

## PLUMBING (SEWER AND WATER)

SANITARY SEWER AND WATER PIPING (EXCEPT AS NOTED BELOW) SHALL HAVE A MINIMUM BURIAL DEPTH OF 12". (CPC 314.4)

INSTALLATION OF THERMOPLASTIC PIPE AND FITTINGS SHALL BE MADE ON A TRENCH 1.25 TIMES THE OUTSIDE DIAMETER OF THE PIPING PLUS 12" OR THE OUTSIDE DIAMETER OF THE PIPING PLUS 16". (CPC 314.4.1)

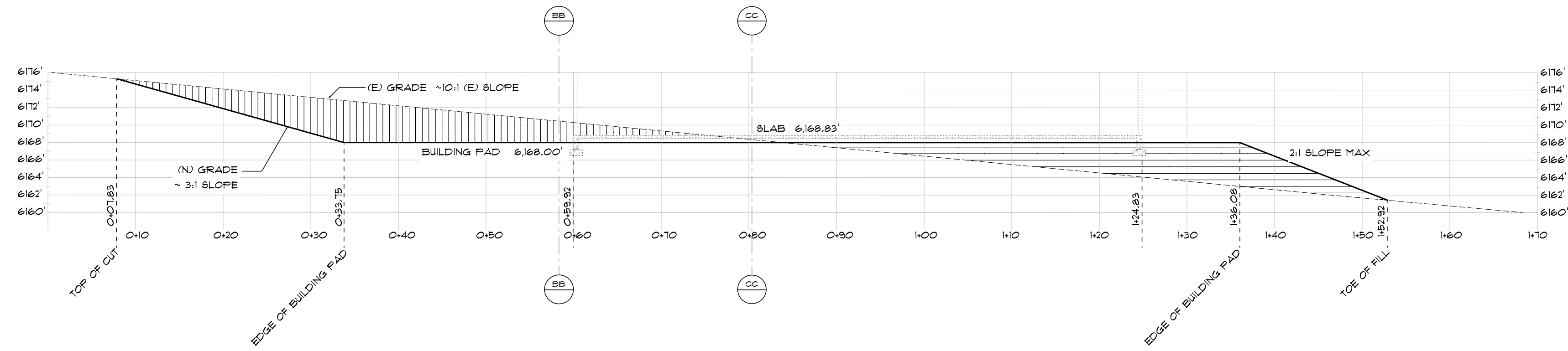
PLASTIC WATER PIPING SHALL HAVE A BLUE INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR INSTALLED ADJACENT TO THE PIPING; THE TRACER WIRE SHALL NOT BE LESS THAN 18 AWG AND THE INSULATION TYPE SHALL BE SUITABLE FOR DIRECT BURIAL. (CPC 604.10.1)

WATER PIPES SHALL NOT BE RUN OR LAID IN THE SAME TRENCH AS BUILDING SEWER OR DRAINAGE PIPING CONSTRUCTED OF CLAY OR MATERIALS THAT ARE NOT APPROVED FOR USE WITHIN A BUILDING UNLESS THE FOLLOWING CONDITIONS ARE MET (CPC 609.2):

- THE BOTTOM OF THE WATER PIPING SHALL NOT BE LESS THAN 12" ABOVE THE TOP OF THE SEWER OR DRAIN LINE.
- THE WATER PIPE SHALL BE PLACED ON A SOLID SHELF EXCAVATED AT ONE SIDE OF THE COMMON TRENCH WITH A CLEAR HORIZONTAL DISTANCE OF NOT LESS THAN 12" FROM THE SEWER OR DRAIN LINE.

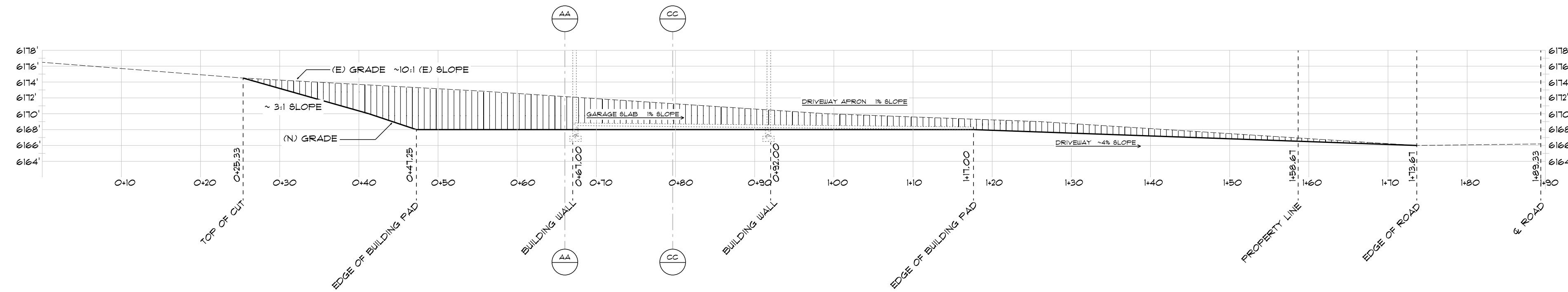
## COMMUNICATION

NO DEPTH REQUIREMENTS.



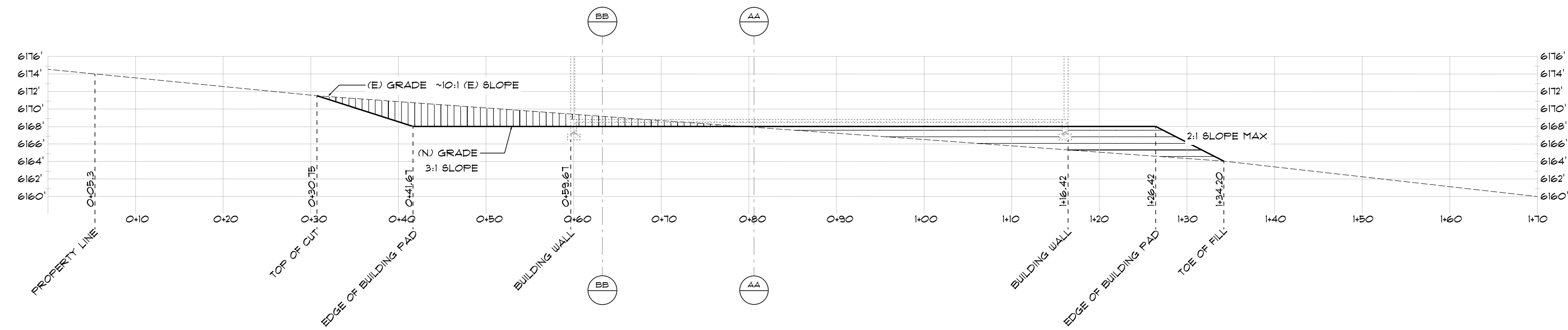
SITE PROFILE - AA

1" = 10'-0"



SITE PROFILE - BB (WEST/EAST THRU GARAGE & DRIVEWAY)

1" = 10'-0"



SITE PROFILE - CC (NORTH/SOUTH @ CENTER OF BUILDING)

1" = 10'-0"

### NOTE:

- BUILDING ILLUSTRATED FOR REFERENCE ONLY.
- SEE ARCHITECTURAL & STRUCTURAL DRAWINGS FOR DETAILS.

## PLUM DESIGN & CONSTRUCTION

2620 SIERRA VISTA WAY  
BISHOP, CA 93514

PLUMDESIGN2003@GMAIL.COM

760.965.6698

DRAWN BY: JSP 11/20/2023

CA. Lic. # 875346

PROJECT SITE:  
WESTERN RESIDENCE  
LOT #2 SIERRA WAVE  
SMALL MEADOWS, CA 93514

PROJECT INFORMATION:  
WESTERN RESIDENCE

OWNER:  
JIM & JOAN WESTERN  
514 AMERICAS WAY #4730  
BOX ELDER, SD 57719

## SITE PROFILES

#	REVISION RECORD	DATE

S2

SCALE: AS NOTED

CONSTRUCTION DOCUMENT



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be copied or reproduced  
without written permission by  
the design professional.**

**Mono County Community  
Development**

# Mono County Community Development Department

P.O. Box 347  
Mammoth Lakes, CA 93546  
(760) 924-1800, fax 924-1801  
commdev@mono.ca.gov

## Planning Division

P.O. Box 8  
Bridgeport, CA 93517  
(760) 932-5420, fax 932-5431  
[www.monocounty.ca.gov](http://www.monocounty.ca.gov)

### WHEELER CREST DESIGN REVIEW DISTRICT PROJECT INFORMATION SHEET

**APPLICANT** Robert and Erica in't Hout/ Erica Shoemaker Revocable Trust

**ASSESSOR PARCEL #** 064-210-002-000

**PROJECT DESCRIPTION** (e.g., single-family residence, garage, etc.)

new construction of a single family home with attached garage

#### BUILDING DESIGN

NOTE: Please provide all required information as accurately and completely as possible to avoid potential delays in processing. The required information should be shown on the building plans and plot plan. Place a check in the appropriate place on this form to indicate that the information has been provided; if certain information does not apply to your project, please place "NA" in the appropriate place on this form. INCOMPLETE INFORMATION MAY REQUIRE PLANS TO BE RESUBMITTED, POSSIBLY ADDING 30 TO 60 DAYS DELAY.

#### EXAMPLE

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**

Please explain how your project complies with the following design criteria: The propane tank is located in the rear of the yard (see site map). Native five-gallon conifers will be planted on the north and south side of the tanks to shield from view. A wood natural fence, cedar, stained dark brown, four feet high will used on the other two sides. The transformer in the front corner of the yard will be shielded by rocks on site with juniper bushes on the street side. Irrigation system will be installed.

A.  **Location of all utility boxes, transformers, propane tanks and metering devices.**

Please explain how your project complies with the following design criteria:

The utility box shall be shielded from view off the street and driveway sides by an elevated rock garden with natural vegetation dispersed throughout.

**Design Criteria:** All utility boxes, transformers, propane tanks and metering devices shall be shielded from public view, where reasonably possible, in accordance with the rules and regulations of the controlling public utility company.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**B.  Paint color for any portions of construction grade foundation work that extend above the finished grade.**

Please explain how your project complies with the following design criteria (*lines on next page*):

Any above grade foundation work shall be covered with a natural stone veneer.

**Design Criteria:** Extensive use of concrete or concrete block should be avoided, except as a backing material for veneer work or when used as an integral part of the overall design concept. Construction grade foundation work shall be coated or painted with flat masonry paint on the portions extending above the finished grade; said portions should be minimized. The color shall be harmonious with the overall color scheme of the structure. Inappropriate materials not allowed are as follows: asphalt siding, raw or unpainted metal, standard concrete block as a total façade.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**C.  Paint or stain color for exposed under portions of elevated decks and porches.**

Please explain how your project complies with the following design criteria:

The steel posts and beams that support the poured concrete deck shall be painted to match the trim color (brown) of the house.

**Design Criteria:** Decks shall be designed to be compatible with the design of the main structure. The under portion of elevated decks and porches shall be painted or stained to blend with the main structure or under portions shall be concealed from view.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**D.  Siding materials and pattern of application.**

Please explain how your project complies with the following design criteria:

The exterior walls shall be clad in horizontal Hardi Plank siding. The exposed foundations, garage and select walls shall be covered in natural stone veneer.

**Design Criteria:** Exterior Walls: Generally, only one kind of siding should be used per structure, and it should be applied in a uniform pattern or manner. Exterior siding materials shall be appropriate for the area and relate harmoniously to existing buildings in the vicinity. The use of natural stone or wood is encouraged.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**E.  Color for any aluminum sash.**

Please explain how your project complies with the following design criteria:

The color of the aluminum window sash shall be factory brown.

**Design Criteria:** Aluminum sash shall be color-anodized to avoid light reflection and coordinate with the color theme of the project.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**F.  Paint colors for all exposed metal.**

Please explain how your project complies with the following design criteria:

All other exposed metal flashings and roof vents shall be painted brown to match the house trim. The solar panels proposed for the south roof shall be black with black trim and the attachments and wiring will be hidden under the panels.

The cable rail system around the decks shall be non-reflective stainless steel.

**Design Criteria:** All exposed metals, flashing, roofjacks, crickets, etc. are to be painted flat to blend with the structure. Muted, nonreflective colors are encouraged.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**G.  Roof materials**

Please explain how your project complies with the following design criteria:

The roof material shall be raised seam metal, color: factory brown.

**Design Criteria:** Roofs: Tar and gravel roof surfacings will be permitted only on areas that are not exposed to view. All types of metal, composition and tar-and-gravel roofing will be reviewed on an individual basis.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**H.  Color and type of exterior stains and finishes.**

Please explain how your project complies with the following design criteria:

The color of the Hardi Plank siding shall be a factory green.  
The color of the window and door trim and the fascia shall be weathered brown to match the factory brown of the roof and the aluminum window sash.

**Design Criteria:** Exterior Colors and Finishes: Because of extreme weather conditions, exterior stains and finishes giving a natural weathering appearance are encouraged over paints. Stains tend to weather better and are easier to maintain. The use of color shall generally be restricted to dark or neutral colors found in the immediate surroundings.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**I.  Location of any exterior lighting.**

Please explain how your project complies with the following design criteria:

All exterior lighting shall be surface mounted LED fixtures at bottom of eaves, directed down.

**Design Criteria:** Exterior lighting should be minimized, and indirect lighting should be encouraged.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**SITE DEVELOPMENT**

**J.  Site map and building elevations from all directions showing property lines, setbacks before and after cut-fill-lines/grade, landscaping, and architectural theme.**

The architectural theme of this structure is "Energy Efficient Passive Mountain Home in a High Fire Area". We shall be following the Mono County Design Guidelines in all areas of our build. Any landscaping shall conform to the fire-approved suggestions on the Mono County site. No irrigation shall be installed at this time. Building is all of non-combustible materials: ie steel framing and concrete walls and decks. Exterior colors are to blend with the surrounding environment. Minimal exterior lighting located under eaves and pointing downwards. Site map, building elevations from all sides are included.

**Design Criteria:** The project shall be designed to be attractive from all viewing directions. The layout architecture and landscaping should be developed to work in harmony with the architectural theme throughout the project.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

- Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**K.  Contour lines and any required cut and fill (show original and proposed cut and**

Grading of building pad and driveway is a balanced site design.

**Design Criteria:** Grading: All reasonable attempts shall be made to minimize grading for the building, garage and driveways. Foundations shall be designed to create the least disturbance possible. Natural, unmodified areas should be maximized, while coverage is minimized for effective erosion control. To the greatest extent possible, the natural contours outside the footprint of the buildings should be retained. In areas of unstable or boggy soils, post or pile foundations may be appropriate.

Natural or existing topographic features and patterns contributing to the beauty and utility of a site ought to be preserved.

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**L.  Location and types of devices to control runoff from impervious surfaces**

All driveways, parking areas and walkways shall be of pervious materials (i.e. decomposed granite and/or gravel as deemed appropriate) The sloping of these to maximize runoff to the plantings and natural vegetation alongside and then finally directed to the existing drainage easement that runs the length of the property, which shall be lined in a local rock rip-rap to slow flow. Roof drainage shall be directed towards the drainage easement.

**Design Criteria:** Special attention should be given to proper site surface drainage so that surface waters will not adversely affect neighboring properties or interfere with natural drainage flow.

Pollution of streams by runoff and siltation shall be avoided. Erosion control shall be provided. Runoff from impervious surfaces (roofs, driveways) should be accomplished by such devices as drip trenches, French drains and drain channels

*To be completed by Staff and/or Wheeler Crest Design Review Committee:*

- Complies                       Does Not Comply                       Not Applicable

Design Review Committee Notes:

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**M.  Fencing location, design and materials.**

Please explain how your project complies with the following design criteria:

We do not intend to install property line fencing.

**Design Criteria:** Fencing: No fence or wall higher than 6 feet tall shall be erected. Fences of simple appearance and construction are the most desirable. Designs that call

attention to the fence by creating a visual intrusion to the landscape are to be avoided. Property line fences or walls are not generally required or desirable.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

Design Review Committee Notes:

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**N.  Landscaping plan showing existing trees and shrubs to be retained, proposed landscaping or revegetation (location and type of plant material), and location of**

Site will be revegetated with native plants. No irrigation is proposed. There are only 2 Pinon Pines of note left on the property after the last fire. Those will be maintained and protected from damage during construction.

**Design Criteria:** Landscaping: The basic objective of landscaping or revegetation is to enhance the new structures and improvements, to strengthen vistas, and to screen visually objectionable elements such as utility areas and trash containers. The removal of trees and large boulders should be kept to a minimum. Ground areas disturbed by grading shall be replanted at the earliest seasonal opportunity to provide for erosion control. Trees and shrubs that are to be retained on the site shall be protected during construction by temporary fencing or barricades so that they are not crushed or damaged by earth-moving equipment or the stockpiling of materials, etc. Use of native ground cover that requires less water to maintain is recommended.

Insofar as possible, trenching or paving shall be located in such a way that no tree roots will be damaged. In situations where this requirement cannot be adhered to, the builder shall exercise great care to minimize damage to roots.

Native vegetation (trees) in the Wheeler Crest area has evolved in a wet-dry cycle, and establishing irrigation for landscaping beneath these trees is harmful. If the soil is irrigated year round, an ideal environment for root rot results, thus creating stress on remaining trees, entitling bark beetles to invade and kill the trees. Irrigation systems should be installed well outside the drip line of any retained trees if their survival is desired.

An adequate irrigation system to maintain planted areas shall be provided, as necessary.

To be completed by Staff and/or Wheeler Crest Design Review Committee:

Complies       Does Not Comply       Not Applicable

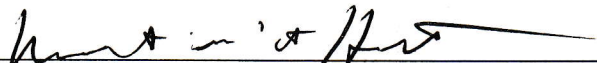
Design Review Committee Notes:

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**O.  The items checked above have been included with the building plans and plot plan for Plan Check # \_\_\_\_\_**

  
Signature

12-6-23  
Date

Erica Hatfield executor of  
Erica Shoemaker revocable trust

### PROJECT REVIEW SHEET

(To be completed by Wheeler Crest Design Review Committee and Mono County staff)

**APPLICANT** Robert and Erica in't Hout

**ASSESSOR PARCEL #** 064-210-002-000

**PROJECT DESCRIPTION** single family home with detached garage.  
(e.g., single-family residence, garage, etc.)

**WHEELER CREST DESIGN REVIEW COMMITTEE RECOMMENDATION:**

Recommended for approval:  without conditions  with attached conditions

\_\_\_\_\_  
Chair, Wheeler Crest Design Review Committee Date \_\_\_\_\_

*The Wheeler Crest Design Review Committee recommends the following findings and conditions:*

- Complies with guidelines
- Does not comply with guidelines (please summarize items inconsistent with guidelines)

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Proposed conditions (please recommend conditions to address inconsistencies with guidelines)

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**COMMUNITY DEVELOPMENT DETERMINATION:**

- Hold for further review/information (see attached letter for detail)
- Approved with no conditions
- Approved with the following conditions

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Community Development Department Date \_\_\_\_\_

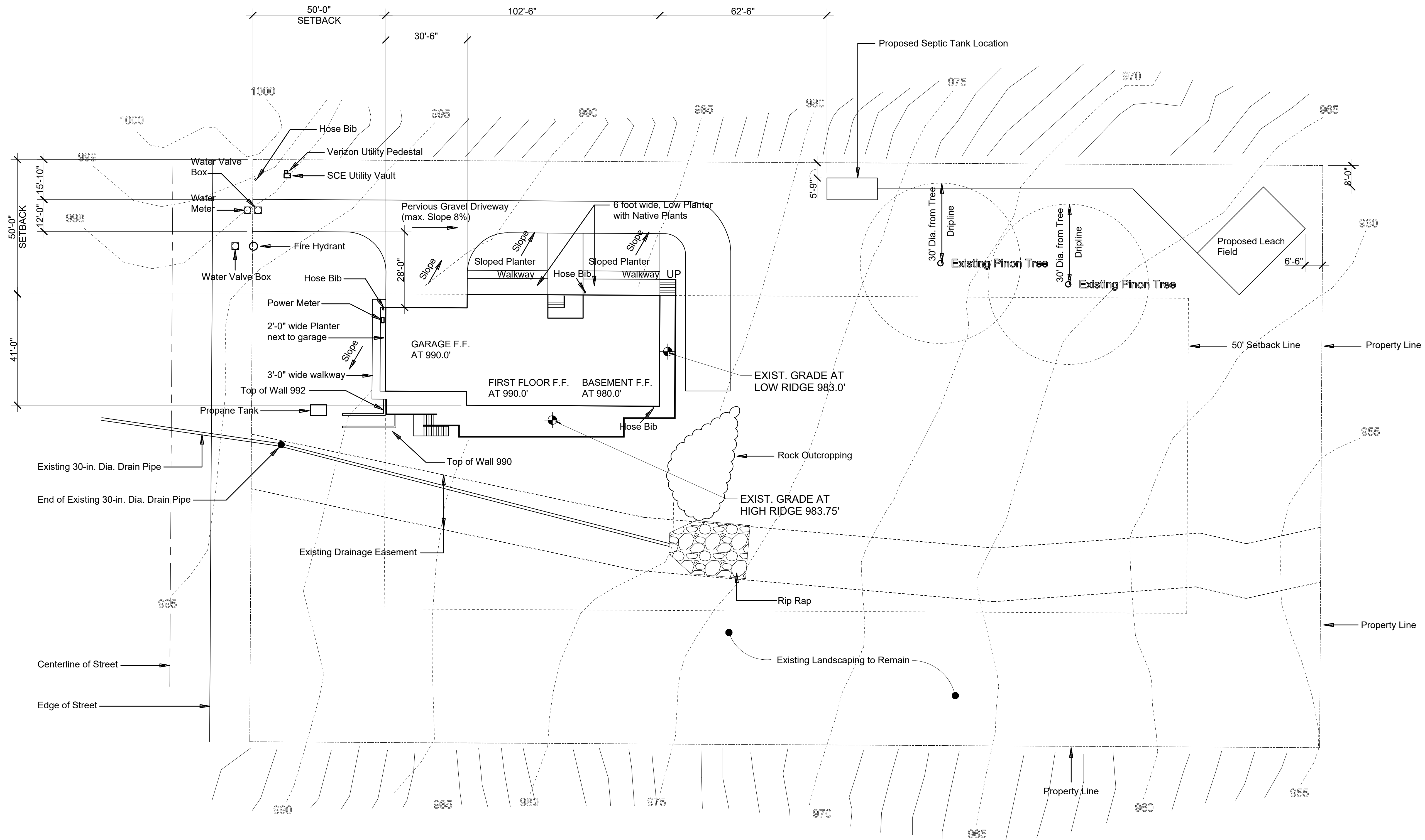


PROJECT:  
601 Rimrock Dr.  
Swall Meadows, CA 93514

ARCHITECT:  
CARL WELTY, ARCHITECTS  
1293 Hillcrest Drive  
Pomona, CA 91768



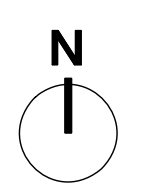
OWNER:  
Erica and Robert int Hout



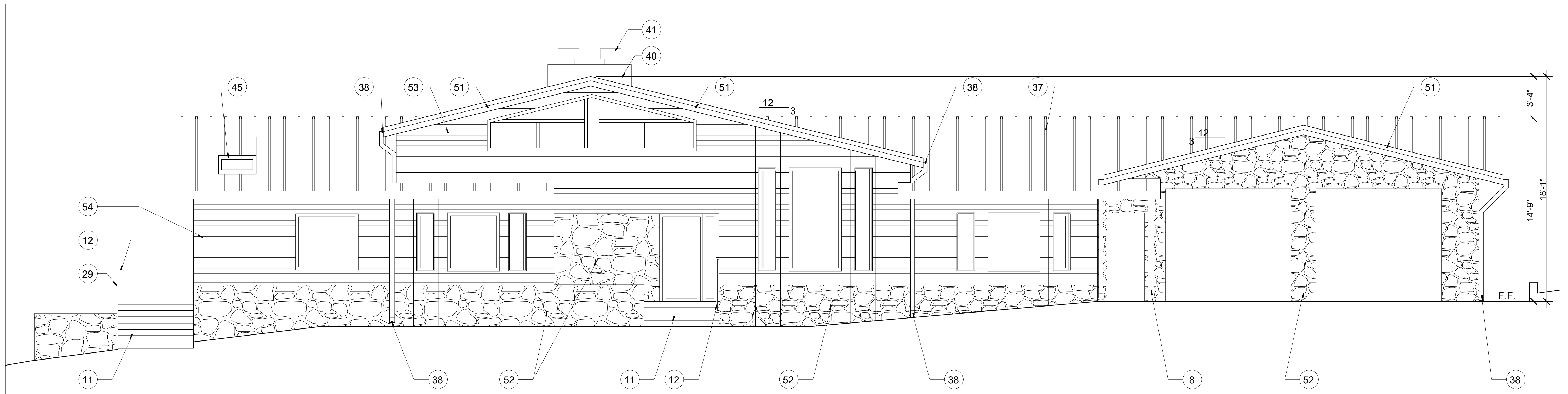
REVISION / ISSUE:	DATE:

SITE PLAN

DATE: 12/04/2023 DRAWN: SN SCALE: 1" = 20'



# A-1.0



3 NORTH ELEVATION

1/4" = 1'-0"



2 SOUTH ELEVATION

1/4" = 1'-0"

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| <p>1) 5-1/2" METAL STUDS AT EXTERIOR WALLS - WITH R-21 BATT INSULATION - 5/8" TYPE 'X' GYP BOARD INSIDE - 5/8" TYPE 'X' DENS GLASS OUTSIDE W/ BUILDING PAPER - 7/8" HAT CHANNEL - TYVEK BUILDING WRAP - 1" R-5 RIGID INSULATION W/ WALL FINISH PER ELEVATIONS</p> <p>2) 3-1/2" METAL STUDS AT INTERIOR WALLS - WITH 1/2" GYP BOARD ON BOTH SIDES</p> <p>3) 5-1/2" METAL STUDS AT INTERIOR WALLS - WITH 1/2" GYP BOARD ON BOTH SIDES</p> <p>4) CONCRETE RETAINING WALL (SSD) WITH WATER PROOFING - PERFORATED DRAINPIPE TO DRAIN - OVER 2" R-10 RIGID INSULATION</p> <p>5) CONCRETE RETAINING WALL (SSD) WITH WATER PROOFING - PERFORATED DRAINPIPE TO DRAIN - NO INSULATION REQUIRED</p> <p>6) OUTLINE OF BAY WINDOWS ABOVE</p> <p>7) STEEL COLUMN (SSD) - INTERIOR</p> <p>8) STEEL COLUMN (SSD) - EXTERIOR</p> <p>9) CONCRETE WALL AND RAISED FOOTING</p> <p>10) CONCRETE SLAB (SSD) WITH RADIANT HEATING AND RIGID 2" (R-10) INSULATION BELOW SLAB</p> <p>11) CONCRETE STAIRS (SSD) ON GRADE</p> <p>12) 1-1/2" DIAMETER METAL HANDRAIL</p> <p>13) TILE OVER WATER PROOFING TO 70" HIGH MINIMUM - TYPICAL NO CURBS AT SHOWERS</p> <p>14) STAIRS WITH FINISH WOOD TREADS AND RISERS</p> <p>15) 1-1/2" DIAMETER WOOD HANDRAIL</p> <p>16) CONCRETE EXTERIOR PATIO WITH STONE FINISH</p> <p>17) CONCRETE GARAGE SLAB ON GRADE</p> <p>18) LIGHT WEIGHT CONCRETE FINISH FLOOR OVER METAL DECK (SSD) WITH RADIANT FLOOR HEATING</p> <p>19) 5-1/2" METAL STUDS AT GARAGE WALL - WITH 5/8" TYPE 'X' GYP BOARD ON BOTH SIDES - 1 HOUR CONSTRUCTION</p> <p>20) METAL ZERO CLEARANCE FIREPLACE</p> | <p>21) CONCRETE FINISHED RAISED HEARTH</p> <p>22) METAL FLUE FROM WOOD BURNING STOVES</p> <p>23) LIGHT WEIGHT CONCRETE FINISH FLOOR AT EXTERIOR PORCH OVER METAL DECK (SSD) SLOPED TO DRAIN OVER 2" R-10 RIGID INSULATION AND WATERPROOF MEMBRANE</p> <p>24) UTILITY SINK</p> <p>25) WASHER AND DRYER - PROVIDE DRYER VENT TO OUTSIDE</p> <p>26) DOG WASHING SINK AT FLOOR</p> <p>27) COUNTERTOPS AT KITCHEN AND LAUNDRY ROOM</p> <p>28) LIGHT WEIGHT CONCRETE FINISH FLOOR AT EXTERIOR PORCH OVER METAL DECK (SSD) SLOPED TO DRAIN OVER WATERPROOF MEMBRANE</p> <p>29) 42" HIGH GUARDRAIL WITH SS CABLE AT 4" OC WITH METAL SUPPORTS (SSD)</p> <p>30) CONCRETE SLAB ON GRADE AT GARAGE - SLOPE TO DRAIN</p> <p>31) CONCRETE SLAB ON GRADE AT EXTERIOR - SLOPE TO DRAIN</p> <p>32) BAY WINDOW WITH RAISED SEATS - 3-1/2" WALL FRAMING WITH R-21 RIGID OR SPRAY FOAM INSULATION</p> <p>33) 18" HIGH RAISED WALL WITH FINISHED CONCRETE SEAT</p> <p>34) WALL MOUNTED LADDER FOR ACCESS TO ATTIC STORAGE</p> <p>35) 42" HIGH WALL WITH 1/2" GYP BOARD ON BOTH SIDES AND TOP</p> <p>36) LIGHT WEIGHT CONCRETE FINISH FLOOR OVER METAL DECK (SSD)</p> <p>37) STANDING SEAM METAL ROOF OVER WATERPROOF MEMBRANE OVER 2" R-10 RIGID INSULATION OVER 5/8" TYPE 'X' DENS GLASS OVER METAL DECK (SSD)</p> | <p>38) G.I. METAL RAIN GUTTER AND DOWN SPOUT (SEE ELEVATIONS)</p> <p>39) 42" HIGH WOOD GUARD RAIL WITH 1-1/2" DIAMETER STILES AT 5" ON CENTER</p> <p>40) 3-1/2" METAL STUD FRAMED CHIMNEY (SSD) WITH 5/8" TYPE 'X' DENS GLASS OUTSIDE W/ BUILDING PAPER - 7/8" HAT CHANNEL - TYVEK BUILDING WRAP - 1" R-5 RIGID INSULATION W/ WALL FINISH PER ELEVATIONS</p> <p>41) METAL CHIMNEYS WITH SPARK ARRESTORS - 2'-0" ABOVE ROOF 10'-0" FROM CHIMNEYS</p> <p>42) AREA FOR SOLAR PANELS</p> <p>43) ROOF VALLEY WITH VALLEY FLASHING FOR STANDING SEAM METAL ROOF</p> <p>44) INFILL FRAMING OVER LOWER PRIMARY ROOF</p> <p>45) SKYLIGHT</p> <p>46) Metal roof FRAMING (SEE STRUCTURAL DRAWINGS)</p> <p>51) RAKE FASCIA WITH CEMENT BOARD TRIM AND METAL FLASHING TO MATCH STANDING SEAM METAL ROOF</p> <p>52) STONE VENEER OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER CONCRETE RETAINING WALL</p> <p>53) STONE VENEER OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER BUILDING PAPER OVER 5/8" TYPE 'X' DENS GLASS OVER METAL WALL FRAMING</p> <p>54) CEMENT BOARD SIDING OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER BUILDING PAPER OVER 5/8" TYPE 'X' DENS GLASS OVER METAL WALL FRAMING</p> <p>55) STEEL STRUCTURE LOW CANOPY ROOF WITH STANDING SEAM METAL ROOF</p> <p>56) STEEL BEAM (SSD)</p> <p>57) STONE VENEER OVER CONCRETE RETAINING WALL</p> |
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1 NOTES

PROJECT:  
601 Rimrock Dr.  
Swall Meadows, CA 93514

ARCHITECT:  
CARL WELTY, ARCHITECTS  
1293 Hillcrest Drive  
Pomona, CA 91768



OWNER:  
Erica and Robert int Hout

REVISION / ISSUE:	DATE:

EXTERIOR ELEVATIONS

DATE: 11/25/2023  
DRAWN: SN  
SCALE: 1/4" = 1'-0"

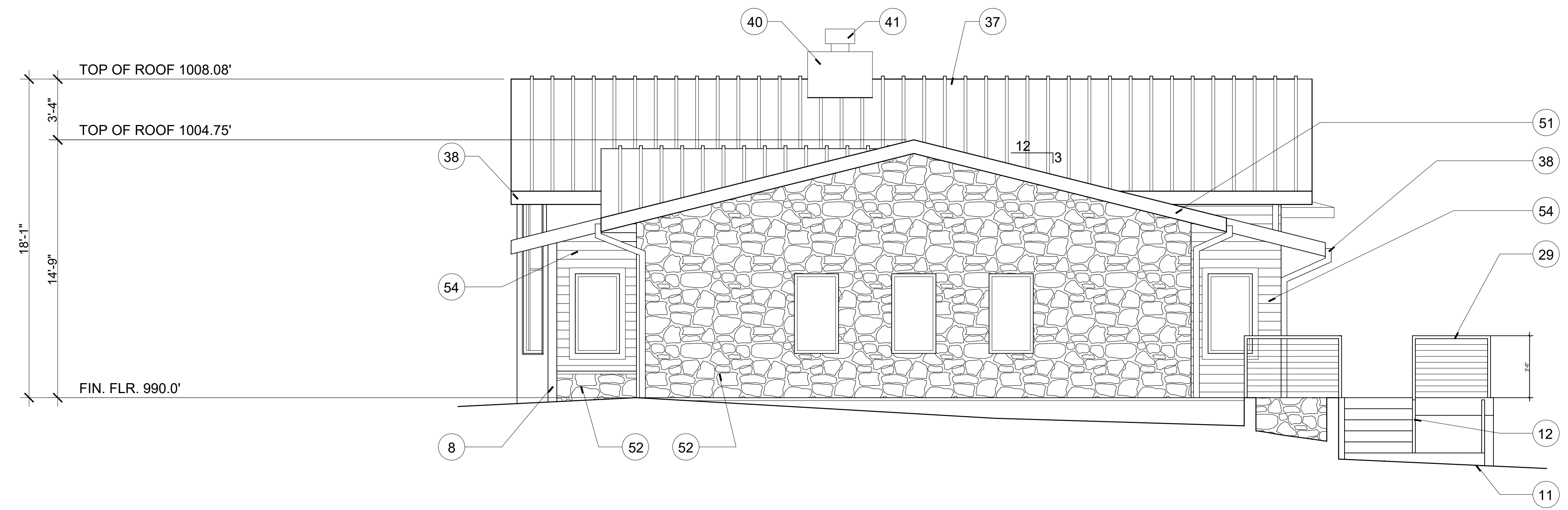
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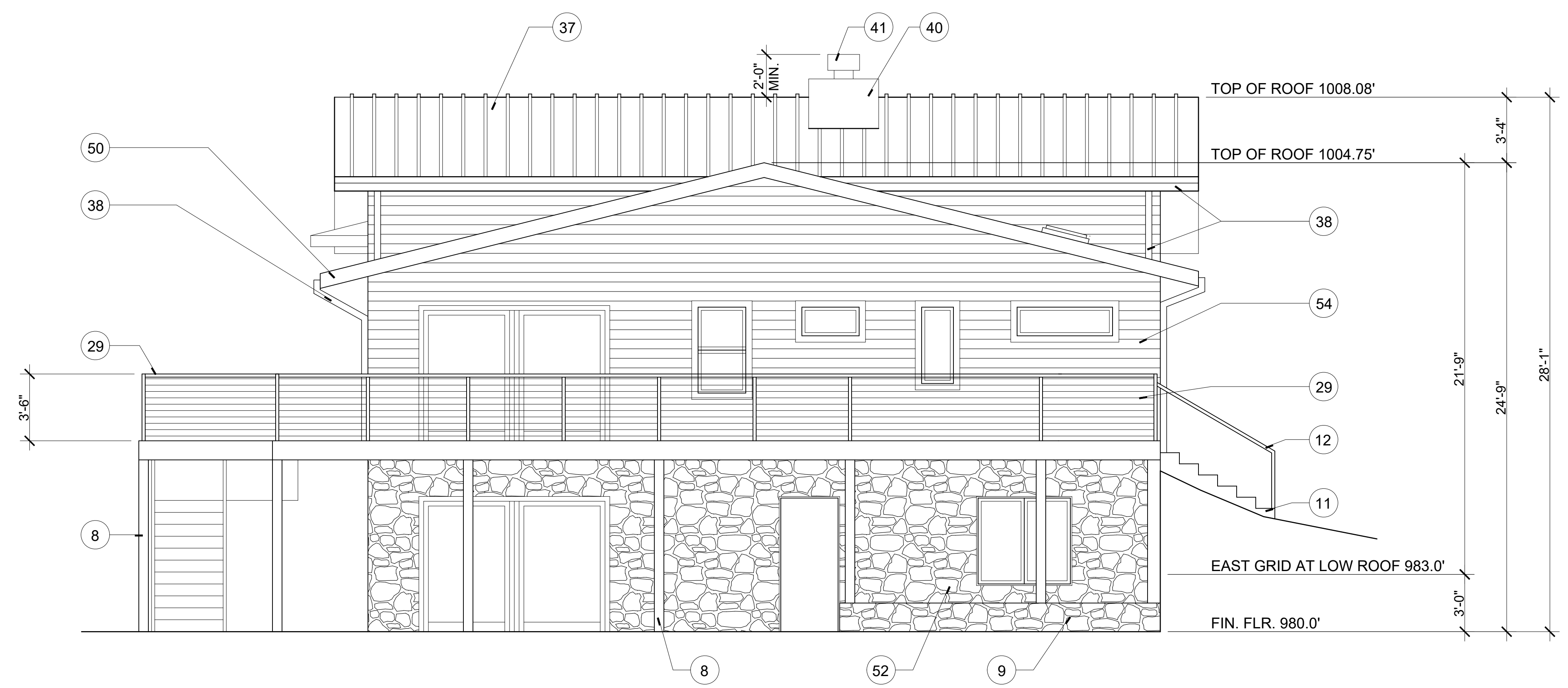


OWNER:  
Erica and Robert int Hout



3 WEST ELEVATION

1/4" = 1'-0"



2 EAST ELEVATION

1/4" = 1'-0"

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|--|--|---|
| <ul style="list-style-type: none"> <li>1) 5-1/2" METAL STUDS AT EXTERIOR WALLS - WITH R-21 BATT INSULATION - 5/8" TYPE 'X' GYP BOARD INSIDE - 5/8" TYPE 'X' DENS GLASS OUTSIDE W/ BUILDING PAPER - 7/8" HAT CHANNEL - TYVEK BUILDING WRAP - 1" R-5 RIGID INSULATION W/ WALL FINISH PER ELEVATIONS</li> <li>2) 3-1/2" METAL STUDS AT INTERIOR WALLS - WITH 1/2" GYP BOARD ON BOTH SIDES</li> <li>3) 5-1/2" METAL STUDS AT INTERIOR WALLS - WITH 1/2" GYP BOARD ON BOTH SIDES</li> <li>4) CONCRETE RETAINING WALL (SSD) WITH WATER PROOFING - PERFORATED DRAINPIPE TO DRAIN - OVER 2" R-10 RIGID INSULATION</li> <li>5) CONCRETE RETAINING WALL (SSD) WITH WATER PROOFING - PERFORATED DRAINPIPE TO DRAIN - NO INSULATION REQUIRED</li> <li>6) OUTLINE OF BAY WINDOWS ABOVE</li> <li>7) STEEL COLUMN (SSD) - INTERIOR</li> <li>8) STEEL COLUMN (SSD) - EXTERIOR</li> <li>9) CONCRETE WALL AND RAISED FOOTING</li> <li>10) CONCRETE SLAB (SSD) WITH RADIANT HEATING AND RIGID 2" (R-10) INSULATION BELOW SLAB</li> <li>11) CONCRETE STAIRS (SSD) ON GRADE</li> <li>12) 1-1/2" DIAMETER METAL HANDRAIL</li> <li>13) TILE OVER WATER PROOFING TO 70" HIGH MINIMUM - TYPICAL NO CURBS AT SHOWERS</li> <li>14) STAIRS WITH FINISH WOOD TREADS AND RISERS</li> <li>15) 1-1/2" DIAMETER WOOD HANDRAIL</li> <li>16) CONCRETE EXTERIOR PATIO WITH STONE FINISH</li> <li>17) CONCRETE GARAGE SLAB ON GRADE</li> <li>18) LIGHT WEIGHT CONCRETE FINISH FLOOR OVER METAL DECK (SSD) WITH RADIANT FLOOR HEATING</li> <li>19) 5-1/2" METAL STUDS AT GARAGE WALL - WITH 5/8" TYPE 'X' GYP BOARD ON BOTH SIDES - 1 HOUR CONSTRUCTION</li> <li>20) METAL ZERO CLEARANCE FIREPLACE</li> </ul> | <ul style="list-style-type: none"> <li>21) CONCRETE FINISHED RAISED HEARTH</li> <li>22) METAL FLUE FROM WOOD BURNING STOVES</li> <li>23) LIGHT WEIGHT CONCRETE FINISH FLOOR AT EXTERIOR PORCH OVER METAL DECK (SSD) SLOPED TO DRAIN OVER 2" R-10 RIGID INSULATION AND WATERPROOF MEMBRANE</li> <li>24) UTILITY SINK</li> <li>25) WASHER AND DRYER - PROVIDE DRYER VENT TO OUTSIDE</li> <li>26) DOG WASHING SINK AT FLOOR</li> <li>27) COUNTERTOPS AT KITCHEN AND LAUNDRY ROOM</li> <li>28) LIGHT WEIGHT CONCRETE FINISH FLOOR AT EXTERIOR PORCH OVER METAL DECK (SSD) SLOPED TO DRAIN OVER WATERPROOF MEMBRANE</li> <li>29) 42" HIGH GUARDRAIL WITH SS CABLE AT 4" OC WITH METAL SUPPORTS (SSD)</li> <li>30) CONCRETE SLAB ON GRADE AT GARAGE - SLOPE TO DRAIN</li> <li>31) CONCRETE SLAB ON GRADE AT EXTERIOR - SLOPE TO DRAIN</li> <li>32) BAY WINDOW WITH RAISED SEATS - 3-1/2" WALL FRAMING WITH R-21 RIGID OR SPRAY FOAM INSULATION</li> <li>33) 18" HIGH RAISED WALL WITH FINISHED CONCRETE SEAT</li> <li>34) WALL MOUNTED LADDER FOR ACCESS TO ATTIC STORAGE</li> <li>35) 42" HIGH WALL WITH 1/2" GYP BOARD ON BOTH SIDES AND TOP</li> <li>36) LIGHT WEIGHT CONCRETE FINISH FLOOR OVER METAL DECK (SSD)</li> <li>37) STANDING SEAM METAL ROOF OVER WATERPROOF MEMBRANE OVER 2" R-10 RIGID INSULATION OVER 5/8" TYPE 'X' DENS GLASS OVER METAL DECK (SSD)</li> </ul> | <ul style="list-style-type: none"> <li>38) G.I. METAL RAIN GUTTER AND DOWN SPOUT (SEE ELEVATIONS)</li> <li>39) 42" HIGH WOOD GUARD RAIL WITH 1-1/2" DIAMETER STILES AT 5" ON CENTER</li> <li>40) 3-1/2" METAL STUD FRAMED CHIMNEY (SSD) WITH 5/8" TYPE 'X' DENS GLASS OUTSIDE W/ BUILDING PAPER - 7/8" HAT CHANNEL - TYVEK BUILDING WRAP - 1" R-5 RIGID INSULATION W/ WALL FINISH PER ELEVATIONS</li> <li>41) METAL CHIMNEYS WITH SPARK ARRESTORS - 2'-0" ABOVE ROOF 10'-0" FROM CHIMNEYS</li> <li>42) AREA FOR SOLAR PANELS</li> <li>43) ROOF VALLEY WITH VALLEY FLASHING FOR STANDING SEAM METAL ROOF</li> <li>44) INFILL FRAMING OVER LOWER PRIMARY ROOF</li> <li>45) SKYLIGHT</li> <li>46) Metal roof FRAMING (SEE STRUCTURAL DRAWINGS)</li> <li>51) RAKE FASCIA WITH CEMENT BOARD TRIM AND METAL FLASHING TO MATCH STANDING SEAM METAL ROOF</li> <li>52) STONE VENEER OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER CONCRETE RETAINING WALL</li> <li>53) STONE VENEER OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER BUILDING PAPER OVER 5/8" TYPE 'X' DENS GLASS OVER METAL WALL FRAMING</li> <li>54) CEMENT BOARD SIDING OVER TYVEK BUILDING WRAP OVER 1" R-5 RIGID INSULATION OVER 7/8" HAT CHANNEL OVER BUILDING PAPER OVER 5/8" TYPE 'X' DENS GLASS OVER METAL WALL FRAMING</li> <li>55) STEEL STRUCTURE LOW CANOPY ROOF WITH STANDING SEAM METAL ROOF</li> <li>56) STEEL BEAM (SSD)</li> <li>57) STONE VENEER OVER CONCRETE RETAINING WALL</li> </ul> |
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REVISION / ISSUE:      DATE:

EXTERIOR ELEVATIONS

DATE: 11/25/2023      DRAWN: SN      SCALE: 1/4" = 1'-0"

A-3.1

1 NOTES

# Mono County Community Development

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Mammoth Lakes, CA 93546  
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## BYLAWS

### ARTICLE I – Name, Purpose

- Section 1:** The name of the organization shall be the Wheeler Crest Design Review Committee (WCDRC).
- Section 2:** The Wheeler Crest Design Review Committee (WCDRC) was established by the Board of Supervisors by Ordinance 91-07 on August 20, 1991, and is charged with reviewing single-family residential development within the District, including additions over 200 sf, new garages and accessory structures, for conformity with the Architectural Guidelines of the Wheeler Crest Area Plan. The Committee shall not review plans for interior remodels.

### ARTICLE II – Membership

- Section 1:** Membership is open to individuals who either reside or own property within the District.
- Section 2:** The WCDRC shall be composed of five to seven members per Ordinance 15-04.
- Section 3:** Members of the WCDRC shall be appointed by the Mono County Board of Supervisors.
- Section 4:** Application for appointment to the WCDRC shall be made on a form provided by the Community Development Department and may be submitted to the Planning Department at any time.
- Section 5:** Up to four members shall serve a term of three (3) years; and up to three members shall be appointed for a term of two (2) years.
- Section 6:** Resignation, Termination, and Death. Resignation from the WCDRC must be in writing and received by the WCDRC Secretary, Board Supervisor or Mono County Community Development Department. Upon resignation or termination of membership, the Supervisor will select a new member based on previously received or newly submitted applications.
- Section 7:** Members of the Committee may be removed by a majority of the Board of Supervisors for the following reasons:
1. Failure to meet the following attendance requirements: A Committee Member shall not have three consecutive unexcused absences from regular meetings, nor may a Member miss five or more regular meetings in any 12-month period;
  2. Acting inappropriately, in the sole discretion of the Board, in matters regarding conflict of interest or personal bias;
  3. Failure to carry out Member duties over a period of time due to a frequent inability to vote caused by repeated conflict-of-interest issues;
  4. Failure to carry out the duties by repeatedly abstaining on matters when there are no apparent conflict-of-interest or bias issues; and
  5. Any other cause not enumerated herein which, in the opinion of a majority of the Board, reflects the Member's failure to carry out the duties of the Committee, or which brings discredit to the County of Mono.

### ARTICLE III - Officers

- Section 1:** The Officers of the Committee shall include a Chair, Vice-Chair and Secretary. Officers shall be elected annually at the March meeting.
- Section 2:** The Chair shall convene and conduct all meetings in an orderly manner.

- Section 3:** The Vice-Chair, in the absence of the Chair, shall be responsible for conducting meetings. The Secretary shall run the meeting in the absence of the Chair and the Vice Chair.
- Section 4:** The Secretary shall be responsible for taking minutes which shall include actions of the Committee and record of public comment. Minutes shall be provided to the Community Development Department staff for recording.
- Section 5:** Vacancies. When an Officer vacancy exists, nominations for new officers may be received from present members by the Secretary up to two weeks in advance of a meeting and voted upon at the next meeting. All vacancies will be filled only to the end of the particular Officer's term.

## ARTICLE IV - Meetings Of Members

- Section 1:** Regular Meetings. Regular meetings shall be set to be held on the fourth Thursday of each month at 10:00 AM. Meetings shall be held at the Crowley Lake Community Center or another ADA accessible location designated by the members. The Committee may, with the approval of the Chair upon consultation with the Community Development Department or as consensus direction to staff, cancel any regular meeting.
- Section 2:** Special Meetings. Special meetings may be called by the Chair or by a simple majority of the membership.
- Section 3:** Notice. Notice of each meeting shall be given to each member, by email or any other commonly utilized communication method, not less than 72-hours before regular meetings and 24-hours before special meetings. A notification of the meeting shall be publicly posted in compliance with the Brown Act.
- Section 4:** All meetings shall be conducted in an open fashion and in compliance with the Brown Act. All in attendance should be given an opportunity to be heard, no single member may dominate a discussion, and all participants shall treat each other following principles of fairness and respect.
- Section 5:** Quorum. A quorum consists of at least fifty plus one percent of the WCDRC members. A Quorum must be present before business can be transacted or motions made or passed. If a quorum is not met, the committee shall defer action on any items until a future meeting.
- Section 6:** Agendas. Each agenda shall meet the requirements of the Brown Act. Members and interested parties who seek to place an item on the agenda shall make such a request to the Community Development Department for approval by the Chair at least three weeks prior to the meeting.
- Section 7:** Participation. Each appointed member shall possess one vote on the WCDRC for purposes of passing resolutions, authorizing actions, and conducting other business. However, local citizens and other interested parties shall be encouraged to participate in discussions and debates with a standing equal to that of members. Meetings shall be conducted according to parliamentary procedures and shall incorporate the principles of justice and courtesy to all, rights of the minority protected, rule of the majority reflected, partiality to none, and consideration of one subject at a time.
- Section 8:** Actions. The WCDRC shall approve such recommendations, resolutions, and correspondence as authorized by a quorum of the members, and actions shall be proposed and voted upon following Robert's Rules of Order.
- Section 9:** Resolutions and motions. Any actions or decisions of the Committee at any meeting shall be expressed by motion, duly seconded, and voted upon by members of the Committee and in compliance with the Brown Act and Roberts Rules of Order..
- Every Member must vote except when disqualified by reason of a conflict of interest or as otherwise required by law.
- Section 10:** Conduct Of Public Hearings. The purpose of a Public Hearing is to provide the public with an opportunity to address the Committee on matters pending before the Committee. The Committee

shall consider public comments along with the applicant's and staff's comments prior to taking action. The Chair shall facilitate Public Hearings to elicit all relevant information for decision-making purposes in an orderly and expeditious way.

A. The order of procedure for Public Hearings shall be as follows:

1. The Chair calls for a staff report followed by questions from the Committee, and then opens the Public Hearing. The order of testimony is as follows:
  - a. Applicant's statement;
  - b. Public's statements; and
  - c. Rebuttal statements from applicant and staff if necessary.
2. When all relevant testimony is deemed to have been heard, the Chair shall close the Public Hearing. When a hearing is closed, it shall remain closed except when the matter is continued to another date for further hearing, or when the Chair, or Committee consensus, determines that additional testimony is necessary or desirable, in which case the Chair shall reopen the hearing.
3. Following the close of the public hearing, the Committee shall discuss and deliberate the matter and then either determine the matter or continue it to a date and time certain. The Committee may ask questions of the public, applicant, or appellant as part of its deliberations.
4. If the Design Review Committee raises a new issue through deliberation and seeks to take additional public testimony from the public, applicant, or appellant on the new issue, the public hearing must be reopened and persons given a chance to speak on the new issue. At the conclusion of the public testimony, the public hearing is again closed.
5. The Design Review Committee deliberates and takes action.

B. Rules of Testimony:

1. Persons addressing the Committee shall first secure permission from the Chair. Comments made must be relevant to the matter before the Committee.
2. The Chair may set rules regarding time and relevance of public testimony. The Chair may end testimony when a presentation exceeds the time limit; and may rule "out of order" or otherwise limit repetitive testimony and testimony deemed non-germane. Additionally, irrelevancies (including comments on race, religion, creed, political matters, etc.) shall be ruled out of order by the Chair.
3. All comments shall be addressed to the Committee.
4. If a Member is in possession of extra-record evidence that is relevant to his or her decision making but which does not require recusal, then, the Member shall state such evidence for the record.
5. The Chair shall discourage complaints regarding the staff or individual members of the Committee during a Public Hearing. Complaints should be presented as a separate item on the agenda, or submitted to the Committee in writing for later consideration.

#### **Section 11:** Evaluation of Projects.

1. The WCDRC shall review the plans for compatibility with the Architectural Guidelines adopted for the District.
2. In its review, the WCDRC shall identify unacceptable visual qualities of the proposal and request appropriate changes.
3. Proposals may be recommended for approval by the Committee with or without conditions.
4. WCDRC recommendations shall be considered by the Planning Department in the case of building permits or by the reviewing body prior to approval.

**Section 12:** Decision-Making

1. Voting - Approval of any motion brought before the Committee shall require the affirmative vote of a quorum of the members, unless otherwise specified by law.
2. Tie Votes - Any tie vote shall constitute a denial of the motion and may be reconsidered by a motion offered by any member who voted on the matter. If there is no action by an affirmative vote, the result is no action.
3. Abstentions - Abstentions shall not count as votes for the purpose of determining whether there has been an affirmative vote of a quorum of the members, but shall be counted for the purpose of determining whether a quorum is present, unless the member is abstaining because of a potential conflict of interest in the matter at hand.
4. Roll Call - Voting upon a motion may, at the discretion of the Chairperson, and shall, upon the request of any member, be by roll call. When voting is not by roll call, the Chairperson may, in the absence of objection by any member of the Design Review Committee declare an item to be unanimously approved.

**Section 13:** Adjournment. The Committee may adjourn any regular, adjourned regular, special or adjourned special meeting to a time and place specified in the order of adjournment. Less than a quorum may so adjourn from time to time. If all members of the Committee are absent from any meeting, staff shall declare the meeting adjourned to a stated time and place. When a regular or adjourned regular meeting is adjourned as provided in this section, the resulting adjourned regular meeting is a regular meeting for all purposes. When an order of adjournment fails to state the hour at which the adjourned meeting is to be held, it shall be held at the hour specified in these rules for regular meetings.

**ARTICLE V – Ethics**

**Section 1:** Conflict Of Interest. No Member shall participate in the making of a decision or vote on any item in which he or she has a financial interest as defined in Government Code Sections 87100 et seq. (the Political Reform Act) and its implementing regulations, or a financial interest pursuant to Government Code Section 1090. Further, no Member shall participate in the making of a decision or vote on any item with respect to which he or she is biased or otherwise conflicted due to personal interests, consistent with applicable law. Possible biases, financial interests, and other conflicts of interest shall be discussed with County Counsel.

**Section 2:** Special Requests To Members. Members shall place in the record of Committee meetings a report of requests for special consideration received from any source either verbally or in writing. The purpose of this section is to keep the public and the Committee informed regarding any showing of unusual or special interest by any person or group in any matter before the Committee.

**ARTICLE VI - Amendment To Rules For The Transaction Of Business**

**Section 1:** Amendment To Rules For The Transaction Of Business. These rules may be amended by a vote of the Committee at any regular meeting or special meeting.

**ARTICLE VIII – Adoption**

The foregoing rules for the transaction of the business of the Wheeler Crest Design Review Committee of the County of Mono were adopted at the regular meeting held on the [REDACTED] day of the month of [REDACTED], and signed by Committee Chair [REDACTED].

\_\_\_\_\_  
Chair, Wheeler Crest Design Review Committee

DATED: \_\_\_\_\_

ATTEST:

\_\_\_\_\_  
Secretary, Wheeler Crest Design Review Committee

DATED: \_\_\_\_\_