

RECORDING REQUESTED BY

David Siphron

MAIL TO

Mono County Planning Division
P.O. Box 347
Mammoth Lakes, CA 93546

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

**LOT LINE ADJUSTMENT 22-002 MC
NOTICE OF APPROVAL**

DESCRIPTION	Lot line adjustment between two parcels on Hackamore Place Bridgeport, CA
NEW ASSESSOR'S PARCELS #	010-400-013 and 010-400-014
PRIOR ASSESSOR PARCEL #	010-400-006 and 010-400-007
RECORD TITLE OWNER(S)	David Siphron

NOTICE IS HEREBY GIVEN that the Mono County Land Development Technical Advisory Committee (LDTAC) has reviewed the attached exhibits for **Lot Line Adjustment 22-002 MC** and finds that they conform with applicable provisions of the Mono County Code and the Subdivision Map Act, California Government Code, Sec. 66410 (et seq.). The subject Lot Line Adjustment is therefore approved by the LDTAC subject to the following:

- 1) New deed descriptions with updated legal descriptions shall be provided with prior or concurrent recording of the Lot Line Adjustment. Failure to record new legal descriptions will result in no recordation from the county until such descriptions are provided or recorded. Deed descriptions shall substantially conform to the attached exhibit(s) and shall be prepared in conformance with applicable provisions of the California Land Surveyors Act.
- 2) The adjusted lots shall retain their prior land use designations, and all prior lots or portions thereof not otherwise delineated on the attached exhibit(s) shall be considered adjusted into the configurations as indicated on the attached exhibits.
- 3) Future development of the subject parcels shall conform to the parcel configurations as indicated on the attached exhibit maps and any conditions as may be approved in conjunction with the lot line adjustment.
- 4) Recordation of this Lot Line Adjustment shall serve as constructive notice.

Approved for filing by the Mono County LDTAC on 2/23/22.

Attest: 

Attachments: (1) Owner's request for Lot Line Adjustments, signed and notarized; (2) New Legal Descriptions for Parcel 1 signed by Licensed Surveyor; (3) New Legal Descriptions for Parcel 2; and (4) Exhibit Map of LLA 22-002 MC.

Required Department Signatures for Recording: Failure to acquire all signatures will prevent recordation of the lot line adjustment.

Mono County
Environmental Health Department: _____ Date: _____
Signature

LOT LINE ADJUSTMENT 22-002 MC

Required Signatures Continued:

Public Works Department: _____ Date: _____
Signature

Treasurer / Tax Collector (certifying
pre-payment of property taxes): _____ Date: _____
Signature

Assessor's Office: _____ Date: _____
Signature

RECORDING REQUESTED BY

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division
P.O. Box 8
Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

**OWNER'S REQUEST FOR
LOT LINE ADJUSTMENT**

PARCELS SUBJECT TO LOT LINE ADJUSTMENT: Assessor's Parcel Numbers

010-400-006 010-400-007 _____

SIGNATURE OF RECORD TITLE OWNERS: This document will be recorded. All record title owners must sign below, and their signatures must appear as reflected on the recorded deeds. *All signatures must be notarized.*

I/we hereby attest by my/our signature(s) hereon that I/we am/are all the record title owner/owners of the above-referenced real property. I/we also affirm that said property consists of two or more continuous lots under our common/separate ownership. I/we understand that recordation of this Request for Lot Line Adjustment shall cause the subject parcels to be adjusted per the attached exhibit maps.

I/we hereby attest by our signature(s) hereon that I/we have initiated this Lot Line Adjustment and are requesting that the County record this notice with the Lot Line Adjustment approval.

Susan L Siphon
Name

Susan L Siphon
Notarized signature

1-18-2022
Date

Name

Notarized signature

Date

Name

Notarized signature

Date

Name

Notarized signature

Date

SEE ATTACHED
NOTARIZED CERTIFICATE
INITIAL sls

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Los Angeles)
On January 18, 2022 before me, Monica Gomez, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Susan L. Siphon
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Monica Gomez
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: owners request for lot line adjustment
Document Date: _____ Number of Pages: _____
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

RECORDING REQUESTED BY

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division
P.O. Box 8
Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

**OWNER'S REQUEST FOR
LOT LINE ADJUSTMENT**

PARCELS SUBJECT TO LOT LINE ADJUSTMENT: Assessor's Parcel Numbers

010-400-006 010-400-007 _____

SIGNATURE OF RECORD TITLE OWNERS: This document will be recorded. All record title owners must sign below, and their signatures must appear as reflected on the recorded deeds. *All signatures must be notarized.*

I/we hereby attest by my/our signature(s) hereon that I/we am/are all the record title owner/owners of the above-referenced real property. I/we also affirm that said property consists of two or more continuous lots under our common/separate ownership. I/we understand that recordation of this Request for Lot Line Adjustment shall cause the subject parcels to be adjusted per the attached exhibit maps.

I/we hereby attest by our signature(s) hereon that I/we have initiated this Lot Line Adjustment and are requesting that the County record this notice with the Lot Line Adjustment approval.

Peter Siphon
Name

Peter Siphon 1/17/2022
Notarized signature Date

Name

Notarized signature Date

Name

Notarized signature Date

Name

Notarized signature Date

State of Washington)
County of Kitsap)

This certificate is attached to a document described by:

Owners Request for Lot Line Adjustment

Dated 11/17/22,

with 1 pages.

On this day personally appeared before me Peter Siphren,
to me known to be the individual, or individuals, described in and who executed the
within and foregoing instrument and acknowledged that he/she/they signed the same as
his/her/their free and voluntary act and deed, for the uses and purposes therein
mentioned.

Given under my hand and official seal this

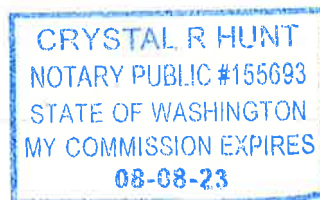
17th day of Jan (month), 2022 (year).

x Crystal R Hunt

Crystal R Hunt

Notary Public – State of Washington residing at
2916 NW Bucklin Hill Rd
Silverdale, WA 98383

My Appointment Expires: 08-08-2023



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

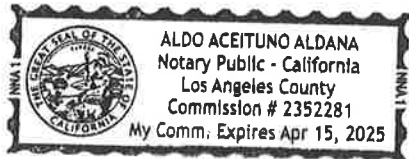
State of California)
County of Los Angeles)

On January 15, 2021 before me, Aldo Aceituno Aldana, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Elizabeth Anne Siphron Hatch
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Owner's Request For Lot Line Adjustment
Document Date: _____ Number of Pages: _____
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Los Angeles)
On January 15, 2022 before me, Aldo Aceituno Aldana, Notary Public
Date Here Insert Name and Title of the Officer
personally appeared Melissa Siphron Sohn
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Owner's Request of Lot Line Adjustment

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

Signer's Name: _____

- Corporate Officer — Title(s): _____
- Partner — Limited General
- Individual Attorney in Fact
- Trustee Guardian or Conservator
- Other: _____

Signer Is Representing: _____

Parcel No. 1

A parcel of land being located in a portion of the N1/2 of Section 15, Township 4 North, Range 24 East, Mount Diablo Meridian and being more particularly described as follows:

Beginning at the Easterly corner common to Lot 9 and Lot 11 as shown on Rancheria, Unit 1 recorded in Book 3 of Maps, Pages 64 and 65, said point being the TRUE POINT OF BEGINNING; thence along the following lines as transcribed from said Map:

- (1) along the Easterly line of said Lot 11 North 57° 41' 56" West, 157.55 feet more or less to the Northeasterly corner of said Lot; thence
- (2) along the Northerly line of said Lot South 51° 30' West, 240.00 feet more or less to the Northwesterly corner of said Lot, said point also being on the Northerly right-of-way line of Hackamore Place; thence
- (3) along said right-of-way line along a curve to the right with a radius of 330 feet from a tangent which bears South 38° 19' 03" East, thru an angle of 23° 11' 58" an arc distance of 133.62 feet more or less to a point of tangency; thence
- (4) along said right-of-way line South 15° 07' 05" East, 10.00 feet more or less to the Southwesterly corner of said Lot; thence
- (5) along the Southerly line of said Lot North 53° 13' 15" East, 91.08 feet; thence
- (6) along an adjusted property line South 88° 46' 46" East, 72.52 feet; thence
- (7) along an adjusted property line North 39° 00' East, 180 feet more or less to the TRUE POINT OF BEGINNING.

Bearings in this description for existing lot lines have been transcribed from Unit 1, Rancheria Map. Bearings for the adjusted lot lines have been determined using the line common to Lots 9 and 11 as the Basis of Bearings.



EXP. DATE: 6/30/2023
4/28/2022

Parcel No. 2

A parcel of land being located in a portion of the N1/2 of Section 15, Township 4 North, Range 24 East, Mount Diablo Meridian and being more particularly described as follows:

Beginning at the Easterly corner common to Lot 9 and Lot 11 as shown on Rancheria, Unit 1 filed in Book 3 of Maps, Pages 64 and 65, said point being the TRUE POINT OF BEGINNING; thence along the following lines as transcribed from said Map:

- (1) along the Easterly line of said Lot 9 South 15° 10' East, 205.00 feet more or less to the Southeasterly corner of said Lot, said point being on the Northerly right-of-way line of Spur Court; thence
- (2) along said right-of-way line along a curve to the left with a radius of 50 feet from a tangent which bears South 74° 50' West, thru an angle of 41° 19' 36" an arc distance of 36.06 feet more or less to a point; thence
- (3) along said right-of-way line South 70° 22' 35" West, 246.36 feet more or less to a point of curvature; thence
- (4) along said right-of-way line along a curve to the right with a radius of 20 feet from a tangent which bears South 70° 22' 35" West, thru an angle of 94° 21' 08", an arc distance of 32.94 feet, with a tangent distance of 21.58 feet more or less to a point of tangency on the right-of-way line of Hackamore Place; thence
- (5) along said right-of-way line North 15° 07' 05" West, 98.67 feet more or less to the Northwesterly corner of said Lot; thence
- (6) along the Northerly line of said Lot North 53° 13' 15" East, 91.08 feet; thence
- (7) along an adjusted property line South 88° 46' 46" East, 72.52 feet; thence
- (8) along an adjusted property line North 39° 00' East, 180 feet more or less to the TRUE POINT OF BEGINNING.

Bearings for this description for existing lot lines have been transcribed from Unit 1, Rancheria Map. Bearings for the adjusted lot lines have been determined using the line common to Lots 9 and 11 as the Basis of Bearings.



EXP. DATE: 6/30/2023
4/28/2022

EXHIBIT "B"
LOT LINE ADJUSTMENT NO. 22-002

25' UTILITY, DITCH &
 BRIDLE PATH
 ESMT. PER MB 3/64

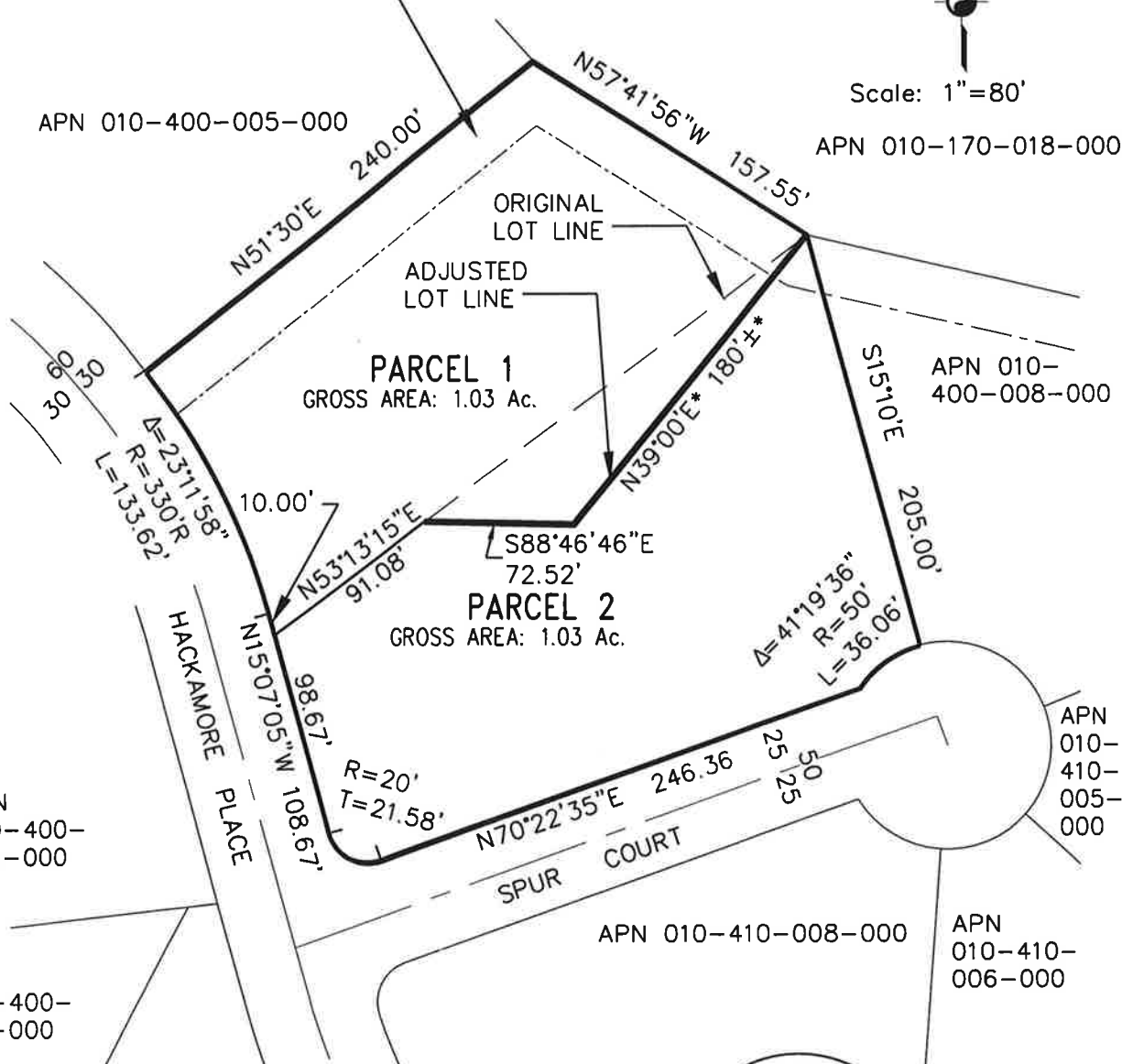
• THE MAPPING ACCURACY OF THE
 EXTERIOR LINES OF LOTS 9 & 11 AS
 DETERMINED FROM MB 3/64 IS 1:1000. THE
 TERMINOUS OF THIS ADJUSTED LINE IS
 THE CORNER COMMON TO LOTS 9 & 11.



Scale: 1"=80'

APN 010-400-005-000

APN 010-170-018-000



REFERENCE DOCUMENTS

MB 3/64 UNIT 1 RANCHERIA
 O.R. 674/177 GRANT DEED
 DOC #2002006379

LAND USE DESIGNATIONS

APN 010-400-006-000: ER (ESTATE RESIDENTIAL)
 APN 010-400-007-000: ER (ESTATE RESIDENTIAL)



EXP. DATE: 06/30/2023
 4/28/2022

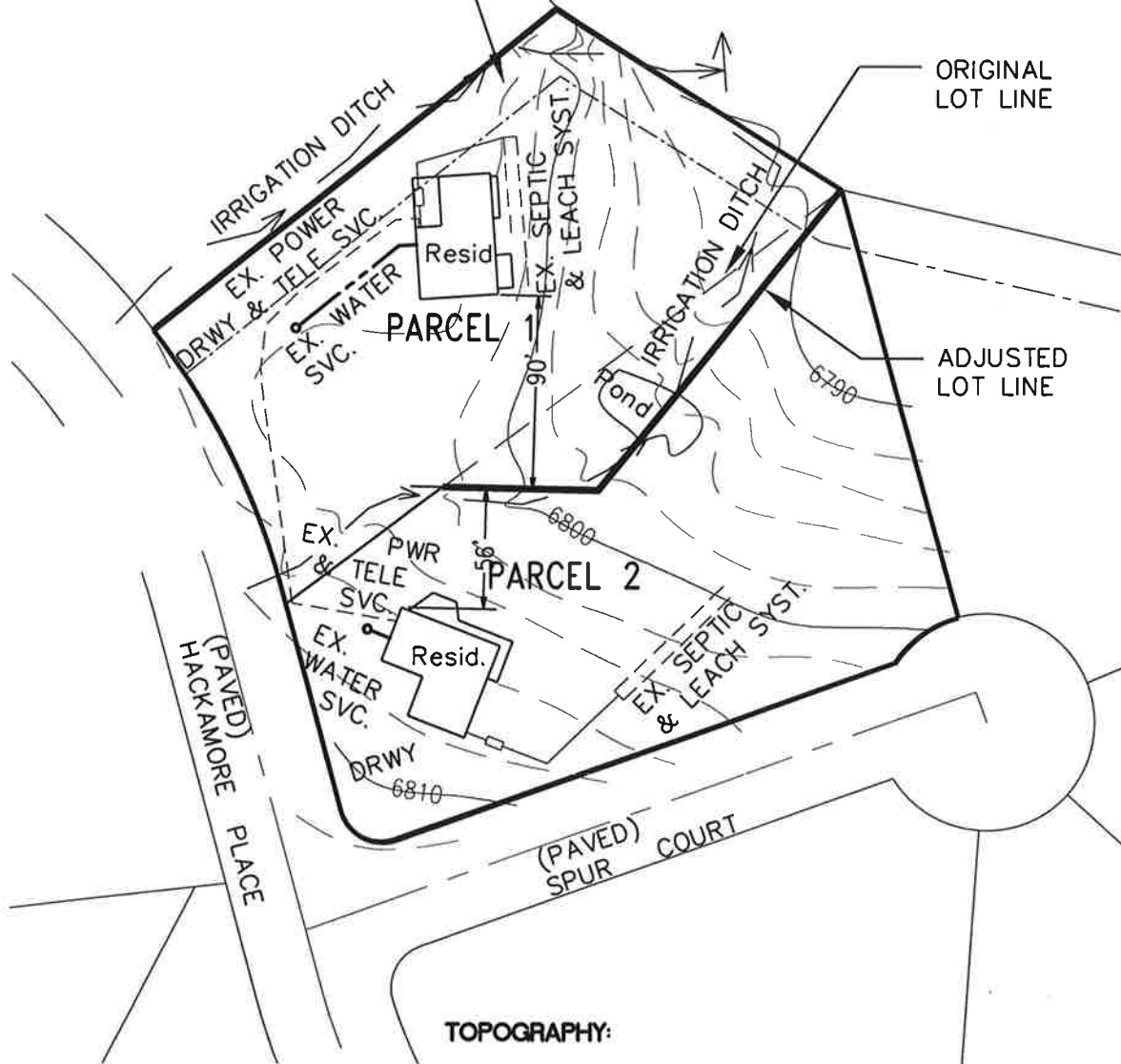
EXHIBIT "C"
LOT LINE ADJUSTMENT NO. 22-002

EXISTING 25' WIDE
UTILITY, DITCH &
BRIDLE PATH
ESMT. PER MB 3/64



Scale: 1"=80'

EXP. DATE: 06/30/2023
4/28/2022



TOPOGRAPHY:

TOPOGRAPHY WAS GENERATED FROM A GOOGLE IMAGE
CONTOUR INTERVALS:
MAJOR: 10'
MINOR: 2'