David Siphron
MAIL TO

Mono County Planning Division P.O. Box 347 Mammoth Lakes, CA 93546

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

LOT LINE ADJUSTMENT _22-002_MC NOTICE OF APPROVAL

DESCRIPTION	Lot line adjustment between two parcels on Hackamore Place
	Bridgeport, CA
NEW ASSESSOR'S PARCELS #	010-400-013 and 010-400-014
PRIOR ASSESSOR PARCEL #	010-400-006 and 010-400-007
RECORD TITLE OWNER(S)	David Siphron

NOTICE IS HEREBY GIVEN that the Mono County Land Development Technical Advisory Committee (LDTAC) has reviewed the attached exhibits for **Lot Line Adjustment** 22-002 MC and finds that they conform with applicable provisions of the Mono County Code and the Subdivision Map Act, California Government Code, Sec. 66410 (et seq.). The subject Lot Line Adjustment is therefore approved by the LDTAC subject to the following:

- 1) New deed descriptions with updated legal descriptions shall be provided with prior or concurrent recording of the Lot Line Adjustment. Failure to record new legal descriptions will result in no recordation from the county until such descriptions are provided or recorded. Deed descriptions shall substantially conform to the attached exhibit(s) and shall be prepared in conformance with applicable provisions of the California Land Surveyors Act.
- 2) The adjusted lots shall retain their prior land use designations, and all prior lots or portions thereof not otherwise delineated on the attached exhibit(s) shall be considered adjusted into the configurations as indicated on the attached exhibits.
- 3) Future development of the subject parcels shall conform to the parcel configurations as indicated on the attached exhibit maps and any conditions as may be approved in conjunction with the lot line adjustment.
- 4) Recordation of this Lot Line Adjustment shall serve as constructive notice.

Approved for filing by the Mono County LDTAC on2/23/22
Attest:
Attachments: (1) Owner's request for Lot Line Adjustments, signed and notarized; (2) New Legal Descriptions for Parcel 3 signed by Licensed Surveyor; (3) New Legal Descriptions for Parcel 2; and (4) Exhibit Map of LLA 22-002 MC.
Required Department Signatures for Recording: Failure to acquire all signatures will prevent recordation of the lot line adjustment.
Mono County
Environmental Health Department: Date: Date:
Signature

Required Signatures Continued:			
Public Works Department:	Signature	Date:	
Treasurer / Tax Collector (certifying pre-payment of property taxes):	Signature	Date:	
Assessor's Office:	Signature	Date:	

22-002 MC

LOT LINE ADJUSTMENT _

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division P.O. Box 8 Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

OWNER'S REQUEST FOR LOT LINE ADJUSTMENT

PARCELS SUBJECT TO LOT LINE ADJUSTMENT: Assessor's Parcel Numbers

010-400-006 010-400-007		
SIGNATURE OF RECORD TITLE OWNERS : Thi below, and their signatures must appear as refle		
I/we hereby attest by my/our signature(s) here above-referenced real property. I/we also affir under our common/separate ownership. I/we Adjustment shall cause the subject parcels to be	m that said property consists of two or to e understand that recordation of this I	more continuous lots
I/we hereby attest by our signature(s) hereorequesting that the County record this notice wi		Adjustment and are
Susan L Siphron Name	Susan 1 Syphron Notarized signature	1-18-2022 Date
Name	Notarized signature	Date
Name	Notarized signature	Date
Name	Notarized signature	Date
		SEE ATTACHED NOTARIZED CERTIFICATE

CIVIL CODE § 1189

A notary public or other officer completing this certificate document to which this certificate is attached, and not the	ate verifies only the identity of the individual who signed the he truthfulness, accuracy, or validity of that document.
State of California)	
County of Los Angeles	
on January 18,2022 before me, Mon	nica Gomez. Notary Public
Date \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	Here Insert Name and Title of the Officer
personally appeared	NON
	Name(s) of Signer(s)
subscribed to the within instrument and acknow	evidence to be the person(s) whose name(s) is/are ledged to me that he/she/they executed the same in is/her/their signature(s) on the instrument the person(s), eted, executed the instrument.
	I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.
Notary Public - California Los Angeles County	Signature of Notary Public
Place Notary Seal Above	
OP'	TIONAL ————————————————————————————————————
Though this section is optional, completing this fraudulent reattachment of this	information can deter alteration of the document or form to an unintended document.
Description of Attached Document Title or Type of Document: OWNUS YOURS Document Date:	For lot line adjustment
Signer(s) Other Than Named Above:	Number of Pages:
Capacity(ies) Claimed by Signer(s)	
Signer's Name:	Signer's Name:
☐ Partner — ☐ Limited ☐ General	☐ Partner — ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact	☐ Individual ☐ Attorney in Fact
☐ Trustee ☐ Guardian or Conservator	☐ Trustee ☐ Guardian or Conservator
Other:Signer Is Representing:	Other:Signer Is Representing:
NA DEL MANAGO DE LA CALLA DEL CALLA DE LA CALLA DEL CALLA DE LA CA	

©2015 National Notary Association • www.NationalNotary.org • 1-800-US NOTARY (1-800-876-6827) (tem #5907

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division P.O. Box 8 Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

OWNER'S REQUEST FOR LOT LINE ADJUSTMENT

PARCELS SUBJECT TO LOT LINE ADJUSTMENT: Assessor's Parcel Numbers 010-400-006 010-400-007 SIGNATURE OF RECORD TITLE OWNERS: This document will be recorded. All record title owners must sign below, and their signatures must appear as reflected on the recorded deeds. All signatures must be notarized. I/we hereby attest by my/our signature(s) hereon that I/we am/are all the record title owner/owners of the above-referenced real property. I/we also affirm that said property consists of two or more continuous lots under our common/separate ownership. I/we understand that recordation of this Request for Lot Line Adjustment shall cause the subject parcels to be adjusted per the attached exhibit maps. I/we hereby attest by our signature(s) hereon that I/we have initiated this Lot Line Adjustment and are requesting that the County record this notice with the Lot Line Adjustment approval. Name Notarized signature Date Notarized signature Name Date Name Notarized signature Date

State of Washington) County of Kitsap)		
This certificate is attached to a document described by: Ours Request by Let Lin Adjustment Dated 1/17/22 with pages.		
On this day personally appeared before me \text{Stov}	v.cov.	
to me known to be the individual, or individuals, described in and who executed the within and foregoing instrument and acknowledged that he/she/they signed the same as his/her/their free and voluntary act and deed, for the uses and purposes therein mentioned.		
Given under my hand and official seal this		
$\frac{17^{44}}{\text{day of }} \frac{\text{day of }}{\text{Jan}} \frac{\text{(month)}, 2022}{\text{day of }}$	(year).	
x Cupital & Vent		
Crystal R Hunt		
Notary Public – State of Washington residing at 2916 NW Bucklin Hill Rd	CRYSTAL R HUNT	
Silverdale, WA 98383	NOTARY PUBLIC #155693	
My Appointment Expires: 08-08-2023	STATE OF WASHINGTON MY COMMISSION EXPIRES 08-08-23	

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division P.O. Box 8 Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

OWNER'S REQUEST FOR LOT LINE ADJUSTMENT

PARCELS SUBJECT TO LOT LINE ADJUSTMENT: Assessor's Parcel Numbers

	010-400-006 010-400-0	07		
	SIGNATURE OF RECORD TIT below, and their signatures mu	LE OWNERS : This document will be recorded. All record to set appear as reflected on the recorded deeds. <i>All signatures</i>	itle owners must sign s must be notarized.	
	I/we hereby attest by my/our signature(s) hereon that I/we am/are all the record title owner/owners of the above-referenced real property. I/we also affirm that said property consists of two or more continuous lots under our common/separate ownership. I/we understand that recordation of this Request for Lot Line Adjustment shall cause the subject parcels to be adjusted per the attached exhibit maps.			
	requesting that the County rec	gnature(s) hereon that I/we have initiated this Lot Line ord this notice with the Lot Line Adjustment approval.	Adjustment and are	
Eli	izabeth Anne Siphro	n Hatel Elyilill and fil that	1/15/22	
	Name	Notarized signature	Date	
	Name	Notarized signature	- Date	
	Name	Notarized signature	- Date	
	Name	Notarized signature	- Date	

CIVIL CODE § 1189

ACCOUNTAGE OF THE PROPERTY OF	atatatatatatatatatatatatatatatatatatat
A notary public or other officer completing this certificate document to which this certificate is attached, and not the	te verifies only the identity of the individual who signed the a truthfulness, accuracy, or validity of that document.
State of California County of Los Angeles On Los Angeles Date personally appeared Elizabeth Anne	Aceituno Aldana, Notary Public Here Insert Name and Title of the Officer Siphron Hotch
	Name(s) of Signer(s)
subscribed to the within instrument and acknowled his/her/their authorized capacity(ies), and that by his or the entity upon behalf of which the person(s) act	evidence to be the person(s) whose name(s) is/are adged to me that he/she/they executed the same in s/her/their signature(s) on the instrument the person(s), ed, executed the instrument. certify under PENALTY OF PERJURY under the laws
C C	of the State of California that the foregoing paragraph is true and correct.
ALDO ACEITUNO ALDANA	Signature Signature of Notary Public
Place Notary Seal Above	
Though this section is optional, completing this in	IONAL ————————————————————————————————————
Description of Attached Document Title or Type of Document: Caner's Request Document Date: Signer(s) Other Than Named Above:	For Lot Line Adjustment Number of Pages:
Capacity(ies) Claimed by Signer(s) Signer's Name: Corporate Officer — Title(s): Partner — Limited General Individual Attorney in Fact Trustee Guardian or Conservator Other: Signer Is Representing:	Signer's Name: Corporate Officer — Title(s): Partner — Limited General Individual Attorney in Fact Trustee Guardian or Conservator Other: Signer Is Representing:
**************************************	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division P.O. Box 8 Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

OWNER'S REQUEST FOR LOT LINE ADJUSTMENT

PARCELS SUBJECT TO LOT LINE A	DJUSTMEN	T: Assessor's Parcel Numbers		
010-400-006 010-400-007				
SIGNATURE OF RECORD TITLE OF below, and their signatures must ap	WNERS: Thi pear as refle	is document will be recorded. All sected on the recorded deeds. <i>All se</i>	record title ov gnatures must	vners must sign be notarized.
I/we hereby attest by my/our signa above-referenced real property. I/v under our common/separate own Adjustment shall cause the subject p	we also affir ership. I/w	m that said property consists of e understand that recordation of	two or more of this Reque	continuous lots
l/we hereby attest by our signaturequesting that the County record the	re(s) hereo nis notice wi	n that I/we have initiated this I ith the Lot Line Adjustment appro	ot Line Adjus val.	stment and are
MEUSSA SIPHRON Name	SOHN	Notarized signature	01/15	2022 Date
Name		Notarized signature		Date
Name		Notarized signature		Date
Name		Notarized signature		Date

CIVIL CODE § 1189

A notary public or other officer completing this certificat document to which this certificate is attached, and not the	re verifies only the identity of the individual who signed the a truthfulness, accuracy, or validity of that document.	
State of California)		
County of Los Angeles		
on January 15, 2022 before me, Aldo Date personally appeared Melissa Siphi	Aceituno Aldana Notary Public	
Date 44	Here Insert Name and Title of the Officer	
personally appeared Melisso Sinh	ron Solin	
position of the state of the st	Name(s) of Signer(s)	
	(a) digital(a)	
sooschoed to the within instinities and acknowle	evidence to be the person(s) whose name(s) is/are adged to me that he/she/they executed the same in /her/their signature(s) on the instrument the person(s), ed, executed the instrument.	
0	certify under PENALTY OF PERJURY under the laws f the State of California that the foregoing paragraph true and correct.	
Notary Public - California Los Angeles County	ITNESS my hand and official seal.	
Place Notary Seal Above	Signature of Notary Public	
Though this section is optional, completing this in	ONAL ————————————————————————————————————	
Description of Attached Document Title or Type of Document: Quer's Legues A		
Document Date:	Number of Pages:	
Capacity(ies) Claimed by Signer(s)		
Signer's Name:	Signer's Name:	
☐ Partner — ☐ Limited ☐ General	☐ Partner — ☐ Limited ☐ General	
☐ Individual ☐ Attorney in Fact	☐ Individual ☐ Attorney in Fact	
☐ Trustee ☐ Guardian or Conservator☐ Other:	☐ Trustee ☐ Guardian or Conservator	
☐ Other: Signer Is Representing:	Other:Signer Is Representing:	

©2015 National Notary Association • www.NationalNotary.org • 1-800-US NOTARY (1-800-876-6827) Item #5907

COMMUNITY DEVELOPMENT DEPARTMENT

AND WHEN RECORDED MAIL TO

Mono County Planning Division P.O. Box 8 Bridgeport, CA 93517

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

OWNER'S REQUEST FOR LOT LINE ADJUSTMENT

PARCELS SUBJECT TO LOT LINE ADJUSTME	ENT: Assessor's Parcel Numbers	
010-400-006 010-400-007	-	
SIGNATURE OF RECORD TITLE OWNERS: To below, and their signatures must appear as re	his document will be recorded. All national states that the flected on the recorded deeds. <i>All sig</i> es the states in the recorded deeds.	record title owners must sig ignatures must be notarized.
I/we hereby attest by my/our signature(s) he above-referenced real property. I/we also aft under our common/separate ownership. I/ Adjustment shall cause the subject parcels to	firm that said property consists of we understand that recordation o	two or more continuous log of this Request for Lot Lin
I/we hereby attest by our signature(s) here requesting that the County record this notice of the Singer Sin	eon that I/we have initiated this L with the Lot Line Adjustment appro-	Lot Line Adjustment and aroval.
Name	Notarized signature Notarized signature	Date Date
Name	Notarized signature	Date
Name	Notarized signature	Date
		SEE ATTACHED NOTARIZED CENTIFICA INITIAL

CIVIL CODE § 1189

**************************************	arcterates and a second a second and a second a second and a second a second a second and a second a second a second a sec
A notary public or other officer completing this certifical document to which this certificate is attached, and not the	te verifies only the identity of the individual who signed the e truthfulness, accuracy, or validity of that document.
State of California	- N
County of Los Angeles	
10.00	
on January 1, 2022 before me, Mor	nica Gomez, Notary Public
Date	Here Insert Name and Title of the Officer
personally appeared	Sinder—
	Name(s) of Signer(s)
	thanke, or signify,
subscribed to the within instrument and acknowled his/her/their authorized capacity(les), and that by his or the entity upon behalf of which the person(s) act	
	certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph s true and correct.
MONICA GOMEZ Notary Public - California Los Angeles County Commission # 2375487 My Comm. Expires Sep 18, 2025	Signature of Notary Public
Place Notary Seal Above	
Though this section is optional, completing this i	IONAL ————————————————————————————————————
	form to an unintended document.
Description of Attached Document Title or Type of Document:	
Document Date:	Number of Pages:
Signer(s) Other Than Named Above:	
Capacity(ies) Claimed by Signer(s)	
Signer's Name:	Signer's Name:
☐ Corporate Officer — Title(s):	☐ Corporate Officer — Title(s):
☐ Partner — ☐ Limited ☐ General	☐ Partner — ☐ Limited ☐ General
□ Individual □ Attorney In Fact □ Trustee □ Guardian or Conservator	☐ Individual ☐ Attorney in Fact
CT Others	☐ Trustee ☐ Guardian or Conservator ☐ Other:
Signer Is Representing:	Signer Is Representing:
	22 - 14 / 14 / 14 / 15 / 15 / 15 / 15 / 15 /

Parcel No. 1

A parcel of land being located in a portion of the N1/2 of Section 15, Township 4 North, Range 24 East, Mount Diablo Meridian and being more particularly described as follows:

Beginning at the Easterly corner common to Lot 9 and Lot 11 as shown on Rancheria, Unit 1 recorded in Book 3 of Maps, Pages 64 and 65, said point being the TRUE POINT OF BEGINNING; thence along the following lines as transcribed from said Map:

- (1) along the Easterly line of said Lot 11 North 57° 41' 56" West, 157.55 feet more or less to the Northeasterly corner of said Lot; thence
- (2) along the Northerly line of said Lot South 51° 30' West, 240.00 feet more or less to the Northwesterly corner of said Lot, said point also being on the Northerly right-of-way line of Hackamore Place; thence
- (3) along said right-of-way line along a curve to the right with a radius of 330 feet from a tangent which bears South 38° 19′ 03″ East, thru an angle of 23° 11′58″ an arc distance of 133.62 feet more or less to a point of tangency; thence
- (4) along said right-of-way line South 15° 07' 05" East, 10.00 feet more or less to the Southwesterly corner of said Lot; thence
- (5) along the Southerly line of said Lot North 53° 13' 15" East, 91.08 feet; thence
- (6) along an adjusted property line South 88' 46' 46" East, 72.52 feet; thence
- (7) along an adjusted property line North 39° 00' East, 180 feet more or less to the TRUE POINT OF BEGINNING.

Bearings in this description for existing lot lines have been transcribed from Unit 1, Rancheria Map. Bearings for the adjusted lot lines have been determined using the line common to Lots 9 and 11 as the Basis of Bearings.

LS5149 PARTIE OF CALIFORNIA

EXP. DATE: 6/30/2023 4/28/2022

Parcel No. 2

A parcel of land being located in a portion of the N1/2 of Section 15, Township 4 North, Range 24 East, Mount Diablo Meridian and being more particularly described as follows:

Beginning at the Easterly corner common to Lot 9 and Lot 11 as shown on Rancheria, Unit 1 filed in Book 3 of Maps, Pages 64 and 65, said point being the TRUE POINT OF BEGINNING; thence along the following lines as transcribed from said Map:

- (1) along the Easterly line of said Lot 9 South 15° 10' East, 205.00 feet more or less to the Southeasterly corner of said Lot, said point being on the Northerly right—of—way line of Spur Court; thence
- (2) along said right-of-way line along a curve to the left with a radius of 50 feet from a tangent which bears South 74° 50' West, thru an angle of 41° 19'36" an arc distance of 36.06 feet more or less to a point; thence
- (3) along said right-of-way line South 70° 22′ 35″ West, 246.36 feet more or less to a point of curvature; thence
- (4) along said right-of-way line along a curve to the right with a radius of 20 feet from a tangent which bears South 70° 22′ 35″ West, thru an angle of 94° 21′08″, an arc distance of 32.94 feet, with a tangent distance of 21.58 feet more or less to a point of tangency on the right-of-way line of Hackamore Place; thence
- (5) along said right—of—way line North 15° 07' 05" West, 98.67 feet more or less to the Northwesterly corner of said Lot; thence
- (6) along the Northerly line of said Lot North 53° 13' 15" East, 91.08 feet; thence
- (7) along an adjusted property line South 88° 46′ 46″ East, 72.52 feet; thence
- (8) along an adjusted property line North 39° 00' East, 180 feet more or less to the TRUE POINT OF BEGINNING.

Bearings for this description for existing lot lines have been transcribed from Unit 1, Rancheria Map. Bearings for the adjusted lot lines have been determined using the line common to Lots 9 and 11 as the Basis of Bearings.

EXP. DATE: 6/30/2023 4/28/2022

E OF CALIF

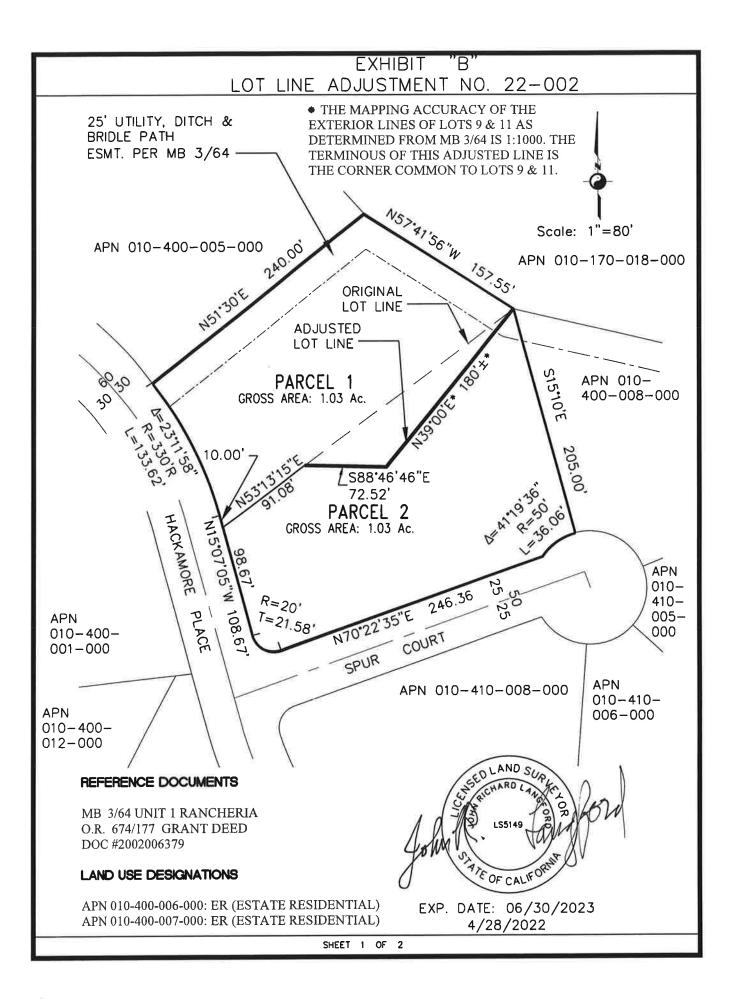


EXHIBIT "C' LOT LINE ADJUSTMENT NO. 22-002 EXISTING 25'WIDE UTILITY, DITCH & BRIDLE PATH ESMT. PER MB 3/64 ATE OF CALIFOR Scale: 1"=80' EXP. DATE: 06/30/2023 4/28/2022 **ORIGINAL** LOT LINE PARCEL **ADJUSTED** 82gg. LOT LINE EX. PARCEL TELE SVE WATER Resid. SVC. DRWY (PAVED) SPUR COURT PLACE TOPOGRAPHY: TOPOGRAPHY WAS GENERATED FROM A GOOGLE IMAGE **CONTOUR INTERVALS:** MAJOR: 10' MINOR: 2' SHEET 2 OF 2