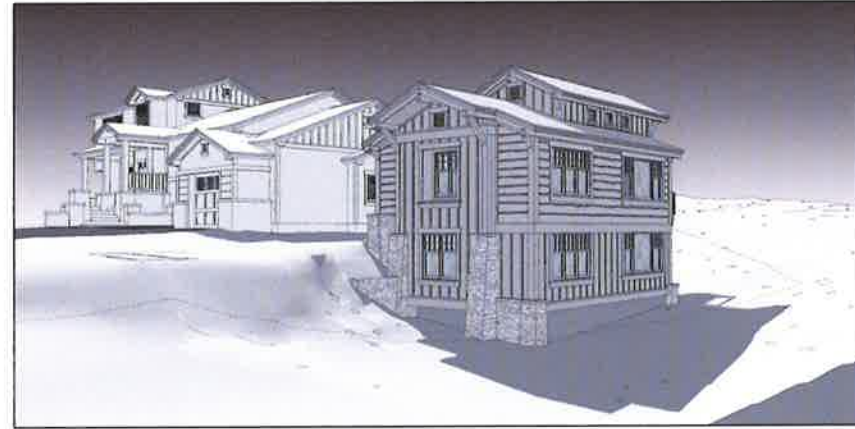




PLAN CHECK SUBMITTAL SET



ACCESSORY DWELLING UNIT



136 APPLETON ROAD, CROWLEY LAKE, CA

PROJECT RESUME

CONSTRUCTION TYPE: V-B (UNSPRINKLERED)
 OCCUPANCY TYPES: R-3 and U SINGLE FAMILY RESIDENCE
 ASSESSORS PARCEL NUMBER: 080150001000
 LAND USE DESIGNATION: SFR
 STREET ADDRESS: 136 APPLETON ROAD, CROWLEY LAKE, CA
 SQUARE FOOTAGES:
 HABITABLE SPACE 1,368 S.F. (1st=692 S.F. and 2nd=696 S.F.)
 EXTERIOR DECKS 131 S.F.
 EXTERIOR PORCHES 33 S.F.
 LOT AREA: SEE SHEET A-1.1
 BUILDING FOOTPRINT: SEE SHEET A-1.1
 PAVED DRIVEWAY and WALKS: SEE SHEET A-1.1
 TOTAL LOT COVERAGE: SEE SHEET A-1.1
 ALLOWABLE LOT COVERAGE: SEE SHEET A-1.1
 SNOW STORAGE REQUIRED: SEE SHEET A-1.1
 SNOW STORAGE PROVIDED: SEE SHEET A-1.1

PROJECT DESCRIPTION:

CONSTRUCTION OF A TWO STORY ACCESSORY DWELLING UNIT (ADU). THE ADU SHALL HAVE TWO BEDROOMS, TWO BATHS, A FAMILY ROOM/STUDY and A MAIN LIVING SPACE CONTAINING A LIVING ROOM, DINING ROOM and A KITCHEN.

LEGAL OWNERS:

SCOTT POWER and CHANNING DUNGEY
 4814 ENGINO TERRACE
 ENGINO, CA 91318
 310.728.3587
 e-mail: channers314@gmail.com

ARCHITECT:

HIGH SIERRA ARCHITECTURE
 BRUCE F. WOODWARD, ARCHITECT C-16915
 P.O. BOX 7772
 MAMMOTH LAKES, CA 93546
 760.934.1850
 e-mail: bruce@h-s-arch.com

STRUCTURAL ENGINEER:

ASHLEY & VANCE ENGINEERING
 JORDAN DENIO, CIVIL ENGINEER C-74798
 7530 LONGLEY LANE, SUITE 105
 RENO, NV 89511
 775.825.4945
 e-mail: Jordan@ashleyvance.com

CODES:

THIS PROJECT SHALL COMPLY AS APPLICABLE w/ THE 2019 CBC, THE 2019 CBC, 2019 CPC, 2019 CMC, 2019 CEC, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2019 CALIFORNIA ENERGY CODE (TITLE 24 ENERGY STANDARDS) and THE MONO COUNTY MUNICIPAL CODE.

STRUCTURAL DESIGN CRITERIA:

SEE SHEET S-1.1 FOR STRUCTURAL DESIGN CRITERIA.

ABBREVIATIONS

A.B.	ANCHOR BOLT	GALV.	GALVANIZED	P.T.	PRESSURE TREATED
ABV.	ABOVE	GLB	GLUE LAMINATED BEAM	ROWD	REDWOOD
A.F.F.	ABOVE FINISH FLOOR	GYP.	GYPSUM	REQ'D	REQUIRED
ALT.	ALTERNATE	HDR	HEADER	REINF.	REINFORCING
B.N.	BOUNDARY NAILING	HGR	HANGER	RM.	ROOM
BLK.	BLOCK	HT.	HEIGHT	R.O.	ROUGH OPENING
BLKG.	BLOCKING	HORZ.	HORIZONTAL	R.S.	ROUGH SAWN
BM	BEAM	INT.	INTERIOR	S.F.	SQUARE FEET
CLG.	CEILING	JST	JOIST	SHT.	SHEET
CLR.	CLEAR	LAG	LAG BOLT	SIM.	SIMILAR
CONC.	CONCRETE	LAM.	LAMINATED	S&P	SHELF and POLE
CONT.	CONTINUOUS	LDGR	LEDGER	SPECS	SPECIFICATIONS
DBL.	DOUBLE	MAX.	MAXIMUM	SG.	SQUARE
DET.	DETAIL	M.B.	MACHINE BOLT	STD.	STANDARD
DH	DOUBLE HUNG	MC	MEDICINE CABINET	STL.	STEEL
dia.	DIAMETER	MIN.	MINIMUM	T&G	TONGUE and GROOVE
DWG.	DRAWING	MISC.	MISCELLANEOUS	TYP.	TYPICAL
E.A.	EACH	N.I.C.	NOT IN CONTRACT	U.B.C.	UNIFORM BUILDING CODE
E.N.	EDGE NAILING	N.T.S.	NOT TO SCALE	U.O.N.	UNLESS OTHERWISE NOTED
EQ.	EQUAL	o.c.	ON CENTER	VERT.	VERTICAL
EXT.	EXTERIOR	PLAS.	PLASTIC	w/	WITH
FIN.	FINISH	P.L.	PROPERTY LINE	WD	WOOD
FLR.	FLOOR	PLY.	PLYWOOD		
FT.	FOOT, FEET	PSF	POUNDS PER SQUARE FOOT		
GA.	GAUGE	PSI	POUNDS PER SQUARE INCH		

SHEET INDEX

A-0.0	TITLE SHEET (THIS SHEET)
A-1.1	SITE PLAN and NOTES
A-2.1	FLOOR PLANS, ROOF PLAN and NOTES
A-2.2	REFLECTED CEILING PLANS and NOTES
A-3.1	EXTERIOR ELEVATIONS and NOTES
A-3.2	BUILDING SECTIONS and NOTES
A-4.1	ARCHITECTURAL DETAILS
A-4.2	ARCHITECTURAL DETAILS
A-5.1	DOOR, WINDOW and FINISH SCHEDULES
A-6.1	ENERGY COMPLIANCE FORMS
A-6.2	ENERGY COMPLIANCE FORMS
S-1.1	STRUCTURAL TITLE SHEET
S-1.2	STRUCTURAL SPECIFICATIONS
S-2.1	FOUNDATION PLAN
S-2.2	FLOOR FRAMING PLAN
S-2.3	ROOF FRAMING PLAN
S-3.1	STRUCTURAL DETAILS
S-3.2	STRUCTURAL DETAILS
S-3.3	STRUCTURAL DETAILS
1	ORIGINAL SITE SURVEY

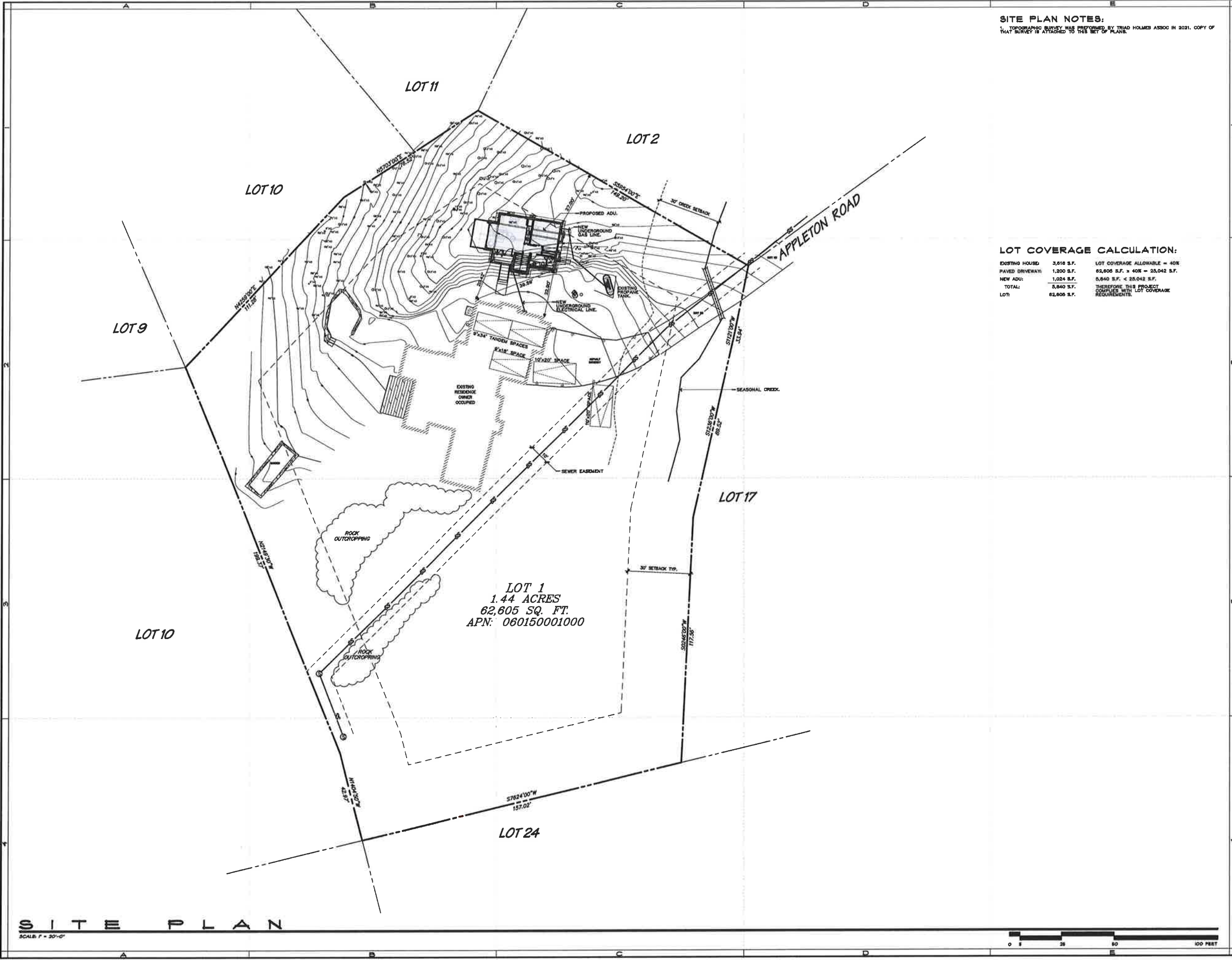
NOTES:

1. A SEPARATE PERMIT IS REQUIRED FOR THE SOLAR SYSTEM.



PLAN CHECK SUBMITTAL - APRIL 29, 2022

A-0.0



SITE PLAN NOTES:
 1. TOPOGRAPHIC SURVEY WAS PERFORMED BY TRIAD HOLMES ASSOC IN 2021. COPY OF THAT SURVEY IS ATTACHED TO THIS SET OF PLANS.

LOT COVERAGE CALCULATION:

EXISTING HOUSE	3,816 S.F.	LOT COVERAGE ALLOWABLE = 40%
PAVED DRIVEWAY	1,200 S.F.	62,805 S.F. x 40% = 25,042 S.F.
NEW ADU	1,024 S.F.	6,840 S.F. < 25,042 S.F.
TOTAL	6,040 S.F.	THEREFORE THIS PROJECT
LOT	62,805 S.F.	COMPLIES WITH LOT COVERAGE
		REQUIREMENTS.

REV	REVISION RECORD	BY	DATE
1	PLAN CHECK SUBMITTAL	bpw	04/07/22

DATE OF PLOT: 4/29/2022 4:58 PM



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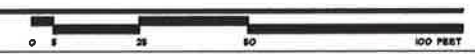
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ACCESSORY DWELLING UNIT
 POWER DUNGEY RES.
 136 APPLETON ROAD
 CROWLEY LAKE, CA

	PLAN NORTH		TRUE NORTH
ACCESSORY DWELLING UNIT			
136 APPLETON ROAD, CROWLEY LAKE, CA			
SITE PLAN			
PROJ NO: 21-0102	PROJ NAME: BPSHV2.dwg	SCALE: 1" = 20'-0"	
DRAWN BY: bpw	APPROVED: [Signature]	DATE: 04/29/22	
DRAWING FILE NAME: PD-StLoc	QTY: 1		

A-1.1

S I T E P L A N
 SCALE: 1" = 20'-0"



ROOF NOTES:

1. ALL VENTS THRU ROOF SHALL PENETRATE ROOF WITHIN 36" OF HIGH POINT OF ROOF. PLUMBING VENTS SHALL HAVE A MINIMUM DIAMETER OF 2".
2. METAL ROOFING SHALL BE 24 GA. GALVALUM CORRUGATED METAL ROOFING OVER 1/2" INSULATED CEILING. METAL SHALL BE INSTALLED OVER "STURMIANE" OVER ENTIRE ROOF SURFACE. CLASS 1 RATED. (CRC R337.8 and R302)
3. "STURMIANE" SHALL BE "GRACE WATER & ICE BUNDLE HIT" APPLIED DIRECTLY TO ROOF JOIST/SHEATHING OF EQUAL METAL PER MANUFACTURER'S SPECIFICATIONS. ENTIRE ROOF INCLUDING ROOFS AND VALLEYS SHALL BE COVERED.
4. CLOSURE STRIPS OF "FLUOR" OF SAME MATERIAL AS CORRUGATED METAL ROOF SHALL BE INSTALLED SUCH THAT THERE ARE NO GAPS UNDER ROOF COVERING BETWEEN ROOF COVERING AND ROOF DECK. ROOF COVERING BEHIND THE STANDING SEAM STEEL ROOF AND ROOF DECK. MAKE SURE THE ROOF SHEATHING 1/2" IS APPLIED "STURMIANE" IN LINE OF THESE CLOSURE STRIPS. THE ENTIRE ROOF SHALL BE COVERED BY A SINGLE LAYER OF 24 GA. METAL. SURFACE HIGH-PERFORMED CAP SHEET COMPLYING WITH ASTM D 3682 OVER ROOF DECK.
5. ALSO SEE EXTERIOR ELEVATIONS FOR LOCATION OF ATTIC VENTS.

ROOF LEGEND

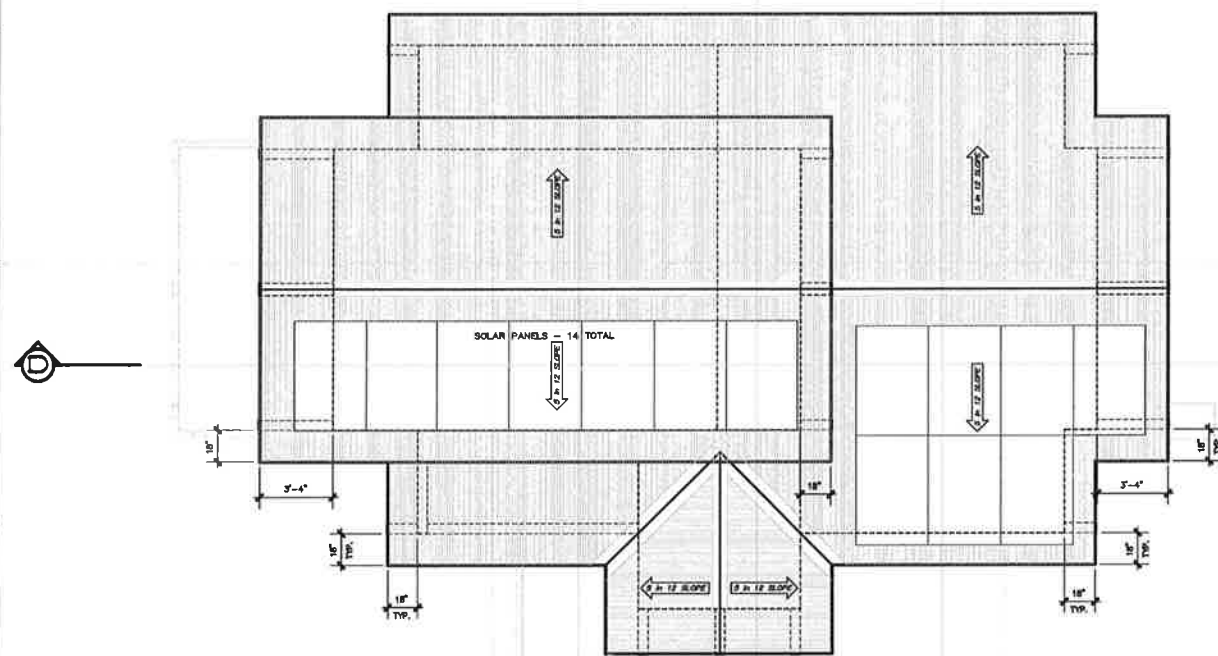
- [Hatched Pattern] INDICATES ROOFING MATERIAL.
- [Arrow] INDICATES DIRECTION and SLOPE of ROOF.

PLAN LEGEND

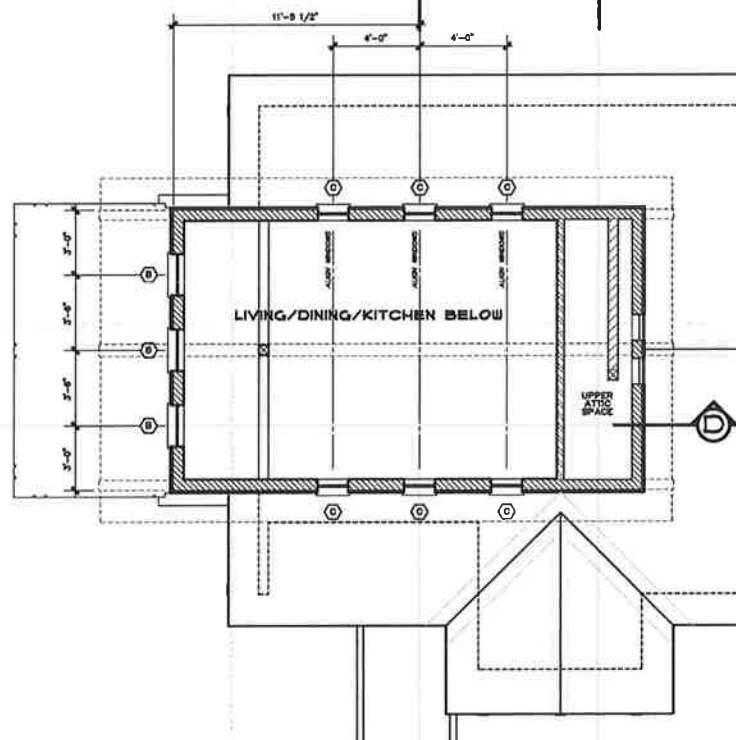
- [Hatched Pattern] 2x FLOORING @ 18" o.c. w/ 1-1/2" RMAX BRAND INSULATION WITH POLYISOCYANURATE RIGID FOAM INSULATION PROVIDING R-VALUE OF 5.8.
- [Hatched Pattern] 2x6 STUD WALL @ 16" o.c. w/ R-21 FIBERGLASS BATT INSULATION PROVIDING R-VALUE OF 21.
- [Hatched Pattern] 2x6 STUD WALL w/ NO THERMAL INSULATION.
- [Hatched Pattern] 2x4 STUD WALL w/ NO THERMAL INSULATION.
- [Box] INDICATES AREA of ATTIC SPACE.
- [Circle with D] INDICATES DOOR - SEE SCHEDULE ON SHEET A-5.1
- [Circle with A] INDICATES WINDOW - SEE SCHEDULE ON SHEET A-5.1
- [Circle with B] INDICATES DUPLEX CONVEYANCE OUTLET @ +18" U.O.N. (B INDICATES GROUND FAULT PROTECTED) (B INDICATES WATERPROOF COVER ON GROUND FAULT PROTECTED OUTLET.)
- [Circle with T] INDICATES TELEPHONE OUTLET @ +18" U.O.N.
- [Circle with O] INDICATES CABLE TV OUTLET @ +18" U.O.N.
- [Circle with P] INDICATES QUADPLEX CONVEYANCE OUTLET @ HEIGHT AS INDICATED ON PLANS.
- [Circle with R] INDICATES PROPANE SENSOR LOCATION PER GENERAL NOTES ON SHEET A-2.2.
- [Circle with A] INDICATES PROPANE ALARM LOCATION PER GENERAL NOTES ON SHEET A-2.2.
- [Circle with H] INDICATES LOCATION of FREEZE PROTECTED HOSE BIB.
- [Circle with 1/2"] INDICATES DETAIL NUMBER and SHEET LOCATION.
- [Circle with A] INDICATES BUILDING SECTION SEE SHEETS A-3.2, A-3.4 and A-3.8
- [WD - NS] INDICATES FLOOR MATERIAL TRANSITION (W = WOOD, D = CONCRETE, NS = NON-SPECIFIED)

ATTIC VENT CALCULATIONS

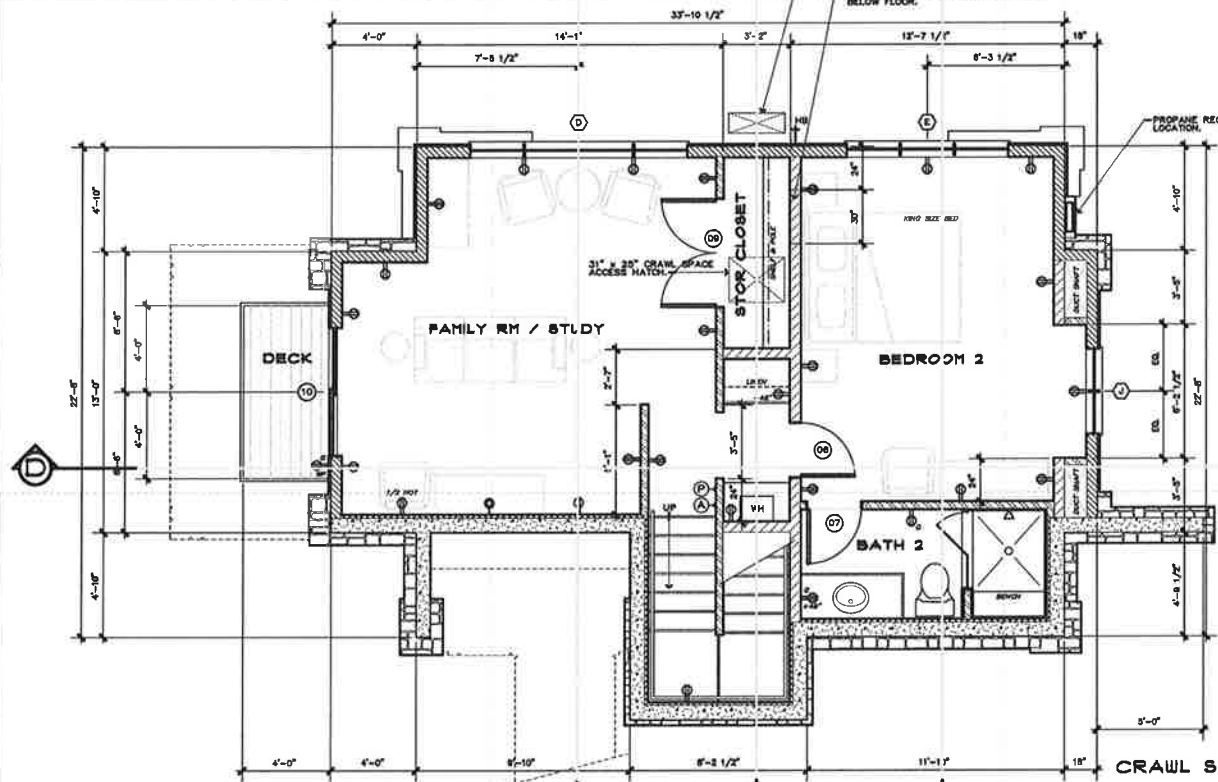
ATTIC SPACE AREA = 281 S.F.
 VENT AREA REQUIRED 1 S.F. PER 150 S.F. of ATTIC SPACE.
 ATTIC VENT AREA REQUIRED = 281/150 = 1.87 S.F. = 241 SQ. INCHES.
 14" x 12" VENT = 88 SQ. INCHES. of VENT (NET FREE AREA)
 14" x 18" VENT = 88 SQ. INCHES. of VENT (NET FREE AREA)
 ATTIC VENT PROVIDED (2) @ 88 S.I. + (2) @ 88 S.I. = 268 S.I.
 ATTIC VENTS SHALL BE "VALCAN VENT" SABLE VENT V014127Y and V014127Y and SHALL HAVE IRON COILS MATRIX w/ IRIDESCENT PAINT AND GALVANIZED WIRE MESH SCREEN PROVIDING OPENING NO GREATER THAN 1/4" AND NOT LESS THAN 1/16". (CRC R337.8)
 SEE EXTERIOR ELEVATIONS FOR LOCATIONS.



ROOF PLAN

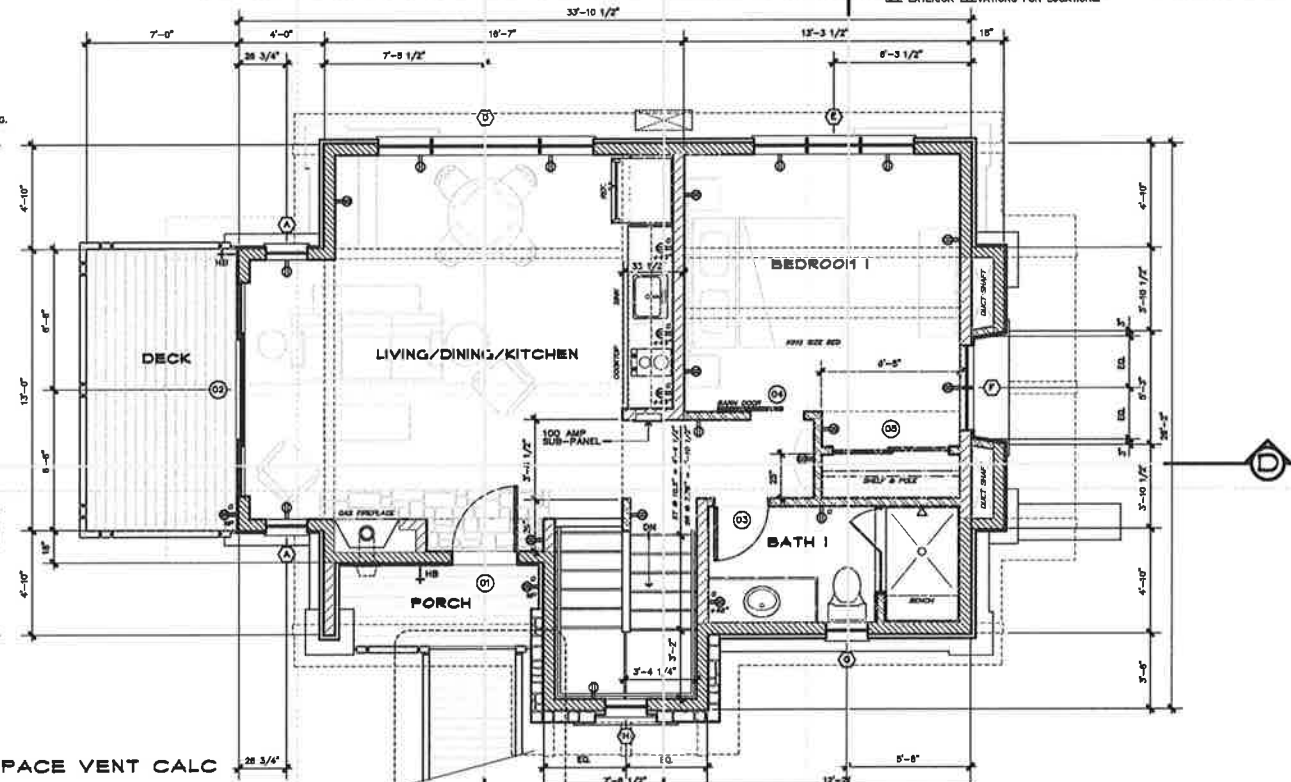


CLERESTORY PLAN



LOWER LEVEL FLOOR PLAN - 692 S.F.

CRAWL SPACE VENT CALC
 CRAWL SPACE AREA = 851 S.F.
 VENT AREA REQUIRED 1 S.F. PER 150 S.F. of CRAWL SPACE.
 VENT AREA REQUIRED = 851/150 = 5.67 S.F.
 8" x 18" VENT = 38 SQ. IN. of VENT
 5.67 x 38 = 215.46. THEREFORE 17 VENTS ARE REQUIRED.
 VENTS SHALL BE EVENLY DISTRIBUTED AROUND THE EAST, NORTH and WEST SIDES of the STRUCTURE.



MAIN LEVEL FLOOR PLAN - 696 S.F.

FLOOR and ROOF PLANS

SCALE: 1/4" = 1'-0"



REV	REVISION RECORD	BY	DATE
1	PLAN CHECK SUBMITTAL	bpw	04/28/22

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 CROWLEY LAKE, CA



PROJECT NO.	21-R102	DATE	04/28/22
SCALE	1/4" = 1'-0"	APPROVED	BPW
DRAWING FILE NAME	PD-P5-E.dwg	DATE	04/28/22

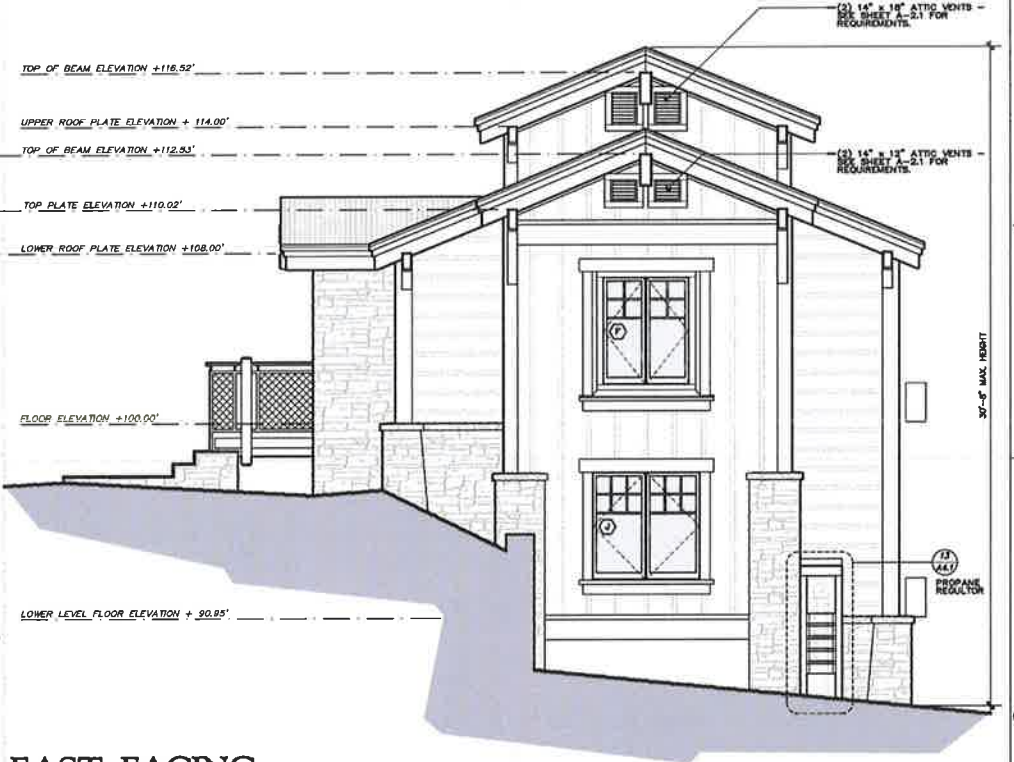
A-2.1

UPPER ROOF PEAK ELEVATION + 117.49'
 TOP OF BEAM ELEVATION +116.52'
 UPPER ROOF PLATE ELEVATION + 114.00'
 LOWER ROOF PLATE ELEVATION + 108.00'
 MAIN LEVEL FLOOR ELEVATION + 100.00'
 LOWER LEVEL FLOOR ELEVATION + 80.85'



SOUTH FACING

TOP OF BEAM ELEVATION +116.52'
 UPPER ROOF PLATE ELEVATION + 114.00'
 TOP OF BEAM ELEVATION +112.53'
 TOP PLATE ELEVATION +110.02'
 LOWER ROOF PLATE ELEVATION +108.00'
 FLOOR ELEVATION +100.00'
 LOWER LEVEL FLOOR ELEVATION + 80.85'



EAST FACING

UPPER ROOF PEAK ELEVATION + 117.48'
 TOP OF BEAM ELEVATION +116.52'
 LOWER ROOF PEAK ELEVATION + 113.82'
 TOP OF BEAM ELEVATION +112.53'
 TOP PLATE ELEVATION +110.02'
 LOWER ROOF PLATE ELEVATION + 108.00'
 MAIN LEVEL FLOOR ELEVATION + 100.00'
 LOWER LEVEL FLOOR ELEVATION + 80.85'



NORTH FACING



WEST FACING

EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"



REV	REVISION RECORD	BY	DATE
-	PLAN CHECK SUBMITTAL	dpw	04/29/22

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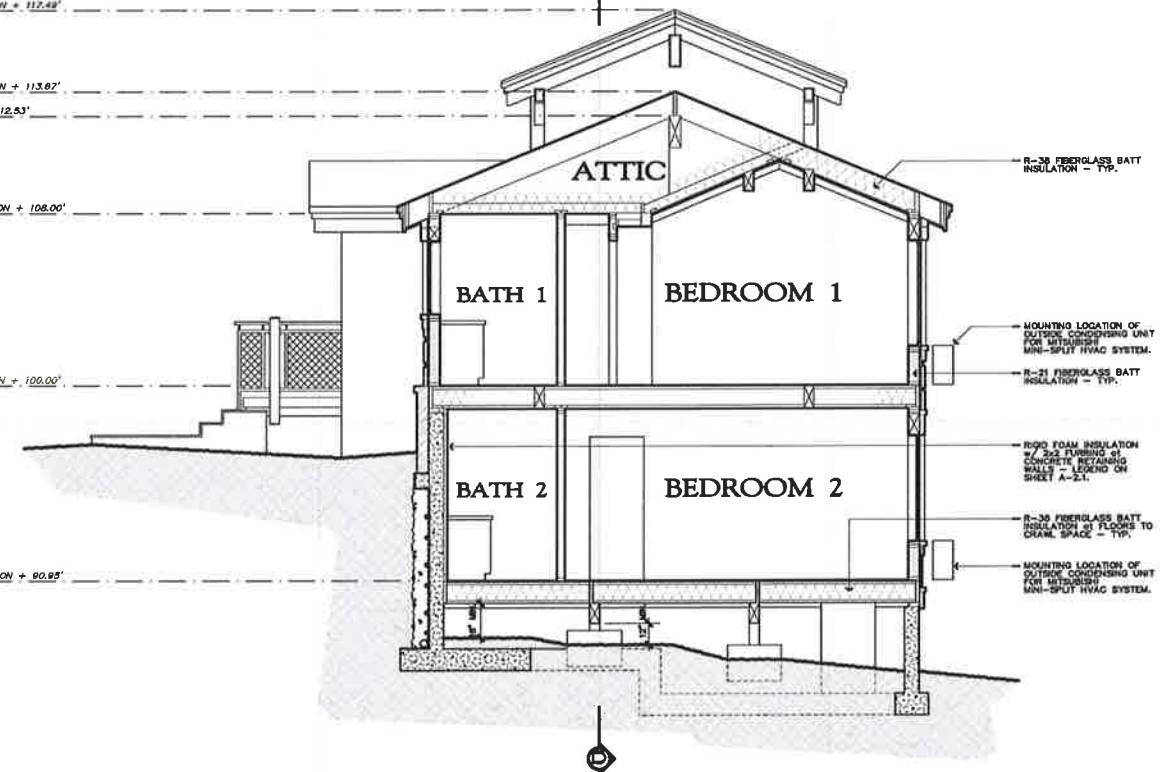
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 CROWLEY LAKE, CA

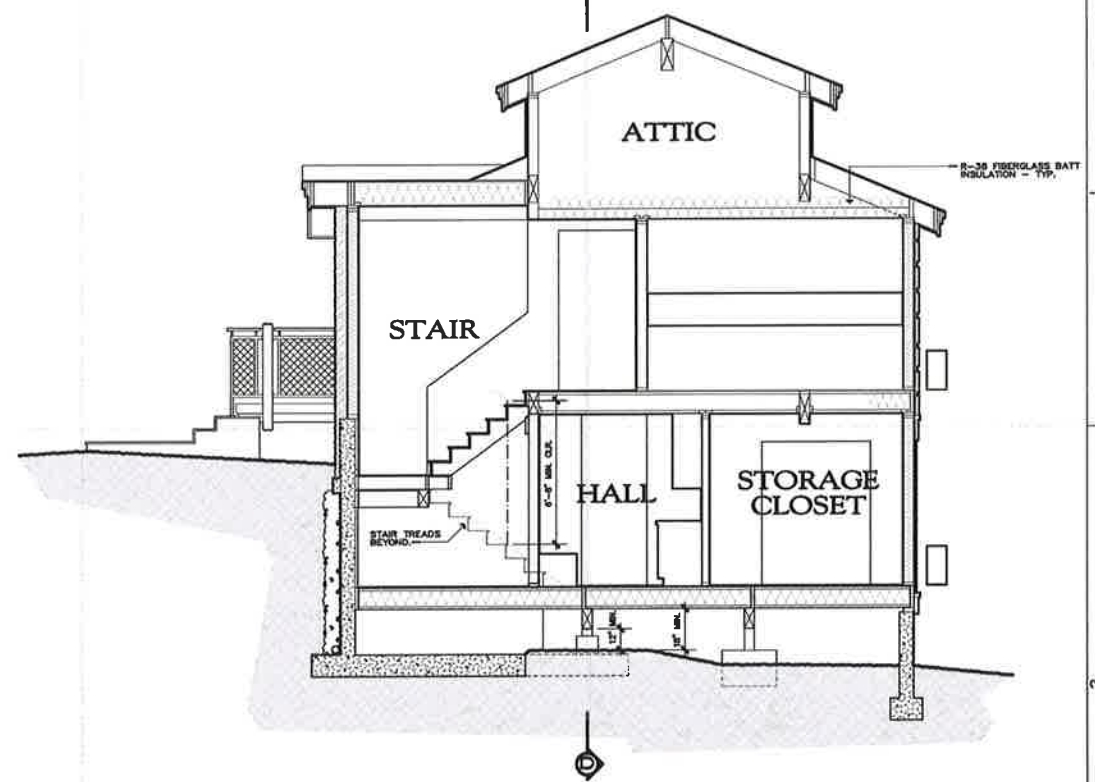
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EXTERIOR ELEVATIONS and NOTES	
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SCALE: 1/4" = 1'-0"	
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DRAWING FILE NAME: PD-E5.aec	QTY NO: 1

A-3.1

UPPER ROOF PEAK ELEVATION + 112.48'
 LOWER ROOF PEAK ELEVATION + 113.82'
 TOP OF BEAM ELEVATION +112.53'
 LOWER ROOF PLATE ELEVATION + 108.00'
 MAIN LEVEL FLOOR ELEVATION + 100.00'
 LOWER LEVEL FLOOR ELEVATION + 80.85'

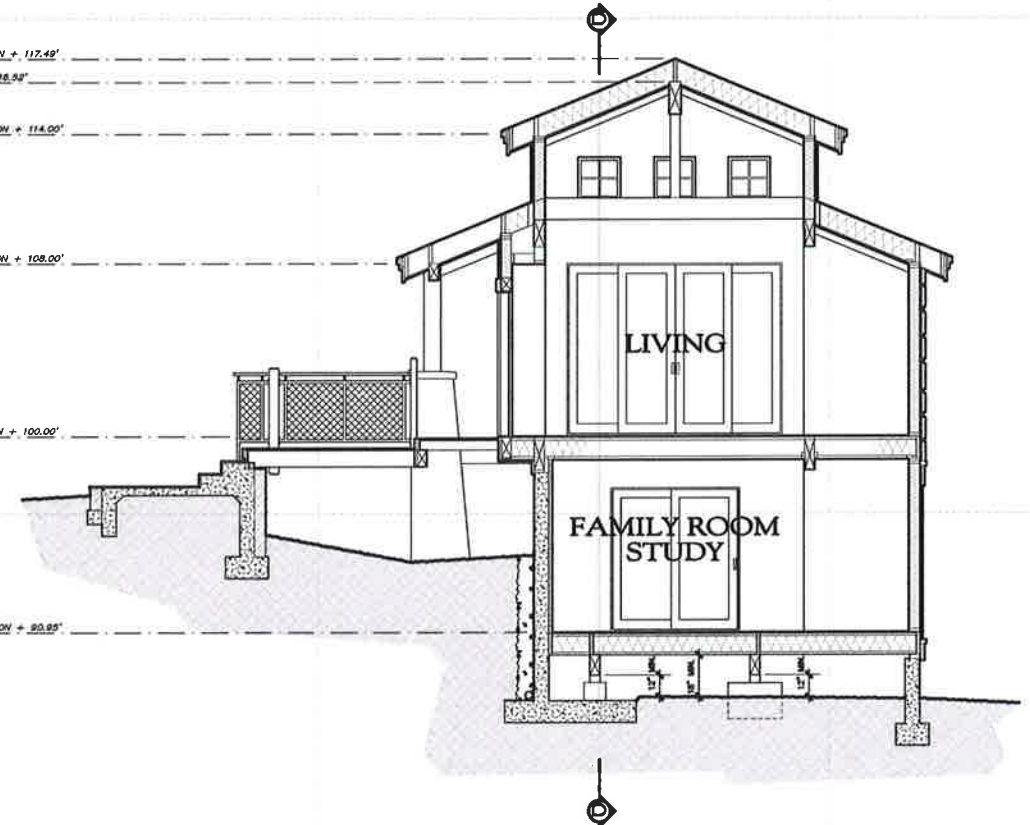


BUILDING SECTION A-A

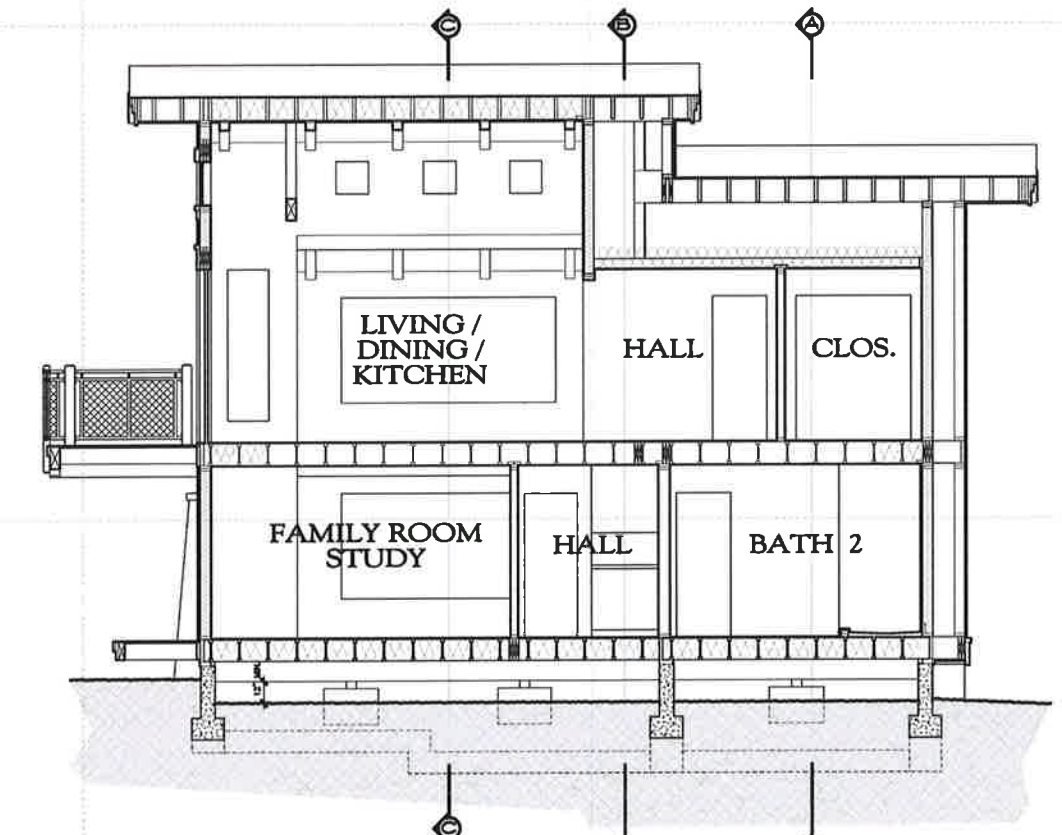


BUILDING SECTION B-B

UPPER ROOF PEAK ELEVATION + 112.48'
 TOP OF BEAM ELEVATION +118.58'
 UPPER ROOF PLATE ELEVATION + 114.00'
 LOWER ROOF PLATE ELEVATION + 108.00'
 MAIN LEVEL FLOOR ELEVATION + 100.00'
 LOWER LEVEL FLOOR ELEVATION + 80.85'



BUILDING SECTION C-C



BUILDING SECTION D-D

BUILDING SECTIONS
 SCALE 1/4" = 1'-0"



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1	PLAN CHECK SUBMITTAL	bpw	04/29/22

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ACCESSORY DWELLING UNIT
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 BUILDING SECTIONS and NOTES
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A-3.2