

# Mono County Community Development Department

## Planning Division

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### DIRECTOR REVIEW APPLICATION

APPLICATION # \_\_\_\_\_ FEE \$ \_\_\_\_\_

DATE RECEIVED \_\_\_\_\_ RECEIVED BY \_\_\_\_\_

RECEIPT # \_\_\_\_\_ CHECK # \_\_\_\_\_ (NO CASH)

**APPLICANT/AGENT** Eric Berlow

(Mailing Address)  
ADDRESS 2151 1/2 Stuart St CITY/STATE/ZIP Berkeley, CA 94705

TELEPHONE ( 209 ) 625-6700 E-MAIL ericberlow@gmail.com

**OWNER**, if other than applicant \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY/STATE/ZIP \_\_\_\_\_

TELEPHONE ( \_\_\_\_\_ ) \_\_\_\_\_ E-MAIL \_\_\_\_\_

#### DESCRIPTION OF PROPERTY:

Assessor's Parcel # 064150011000 General Plan Land Use Designation Estate Residential

**PROPOSED USE:** Applicant(s) should describe the proposed project in detail, using additional sheets if necessary. Note: An incomplete or inadequate project description may delay project processing.

*Please see attached description.*

I CERTIFY UNDER PENALTY OF PERJURY THAT I am:  legal owner(s) of the subject property (all individual owners must sign as their names appear on the deed to the land),  corporate officer(s) empowered to sign for the corporation, or  owner's legal agent having Power of Attorney for this action (a notarized "Power of Attorney" document must accompany the application form), AND THAT THE FOREGOING IS TRUE AND CORRECT.

\_\_\_\_\_  
Signature

  
\_\_\_\_\_  
Signature

10/09/2020  
\_\_\_\_\_  
Date

DR20-005  
APN: 064-150-011-000  
Owner: Eric Berlow  
Address: 353 Mountain View Dr, Swall Meadows CA 93514  
Lot: Hilltop Estates Lot 14

**Title:**

Modification to permitted ADU under construction.

**Project Summary:**

The scope of this revision includes:

- Remove exterior door into kitchen and add conditioned entry room to existing 'garage'.
- Add new small bedroom on ground floor.
- Add conditioned office room on existing 2<sup>nd</sup> story deck.
- Add covered walkway (with no walls) the connect and visually integrate two units.
- Together these changes make the new ADU 1,108 SF with two bedrooms with one bath.

**Intended use:**

The intended use of the ADU is as a residential second unit – with two types of residential use:

- Hosting Guests: Our current two-bedroom home is small (~1,300 SF). The ADU will allow us to more easily host friends, family, and colleagues as guests. These are not short-term renters. They are guests.
- Long-Term Rental: The ADU could in the future be rented long-term to improve our financial stability without losing our ability to live in Swall.

**Other considerations:**

- Accessible Housing:
  - The new request for a second small bedroom on the ground floor would make the house accessible to the elderly (e.g. our parents are in their 80's) or others with disabilities.
  - Including a second bedroom in a small (948 SF) unit would add affordable family housing to the local housing stock.
- This is a small house:
  - For perspective, I compiled data on total home sizes and number of units for 114 homes in Swall Meadows. Our existing home is in the *bottom 10% of smallest homes in Swall Meadows* (Figure 1). The combined area with the proposed ADU is *will be the average home size in Swall Meadows* (Figure 1)
  - Compared to the 12 existing two-unit homes in the Swall Meadows dataset. Our home with the proposed ADU, even with the requested expansion would be the *second smallest two-unit property in Swall Meadows* (Figure 2).

Supplementary Documents attached with this proposal:

- Original master plan for APN 064150011 2002 showing long term intension to have 2 small units (rather than one large one) – and where the ADU was to be stucco (at that time it was proposed to be a strawbale house).
- Well and septic permit documentation – and correspondence with Louis Molina approving that the original septic system was designed to accommodate additional bedrooms.
- Receipt from Mono County for \$495 deposit for DR20-005

- Dataset of homes in Swall Meadows which includes total sizes, # units, and # beds/baths.

Figure 1. Distribution of total home sizes (including any ADUs) in Swall Meadows (n=114)

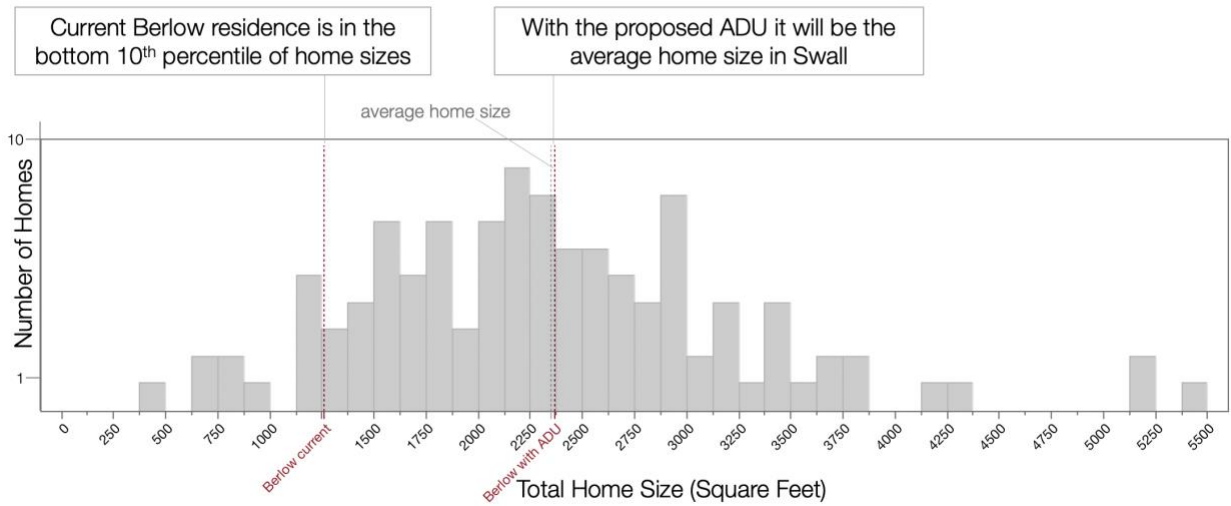
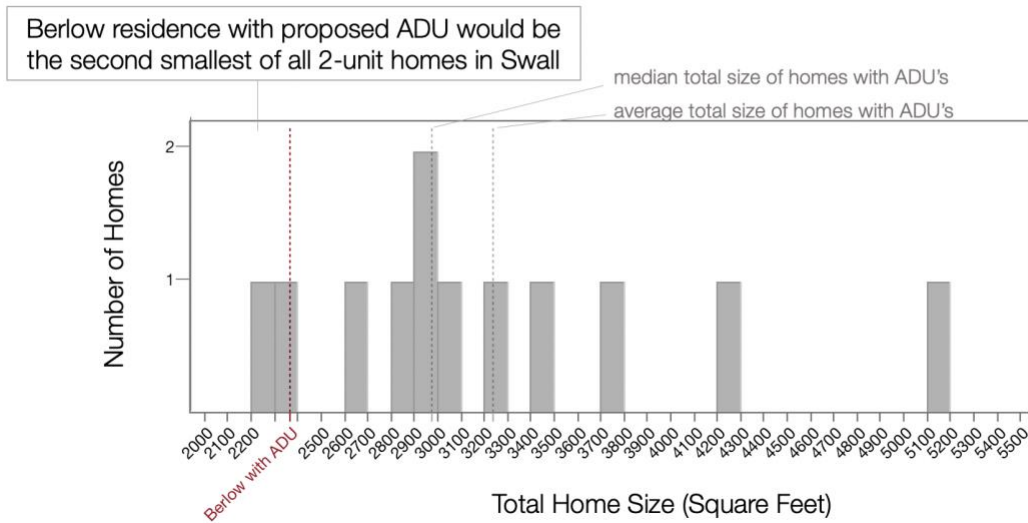


Figure 2. Distribution of total home sizes for the subset of homes with an ADU (n=12)





18" CMP SDP  
INV IN = 983.77'

MOUNTAIN VIEW DRIVE

POWER POLE  
UTILITY VAULT ELECTRIC

88°57'45"E 149.88'

BAR & CAP  
D "LS 4428"

DIRT DRIVEWAY  
2" MAPLE

SET REBAR  
GED "LS

DIRT DRIVEWAY  
50'-0" SETBACK

DIRT PARKING

PROPOSED GARAGE  
347 SF

PROPOSED ACCESSORY  
DWELLING UNIT

FOOTPRINT AREA  
OF PROPOSED  
COVERED ENTRY  
315 SF

EXISTING  
RESIDENCE  
1,318 SF  
FF = 986.95'

13

LOT 14

HOT WATER  
SOLAR PANELS

(E) 200 AMP  
ELECTRIC  
METER

DECK 444 SF

SPA

SEPTIC LIDS

FUTURE SOLAR ARRAY - NOT PART OF THIS PERMIT

S0°32'59"W 199.90'

S0°31'36"W 199.83'

10'-0" SETBACK

10'-0" SETBACK

1 Site Plan  
Scale: 1/8" = 1'-0"

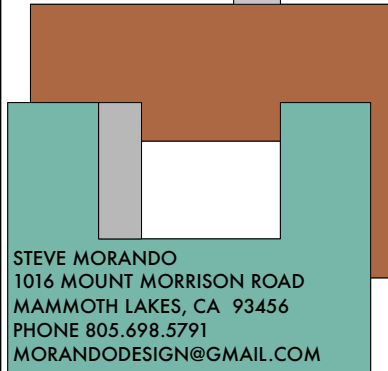
1 Site Plan  
Scale: 1/8" = 1'-0"

UMDT34VAR

N89°30'16"E 149.80'

12" CYPRESS  
8" CYPRESS  
8" CYPRESS  
6" CYPRESS  
8" CYPRESS  
12" CYPRESS  
10" CYPRESS  
10" CYPRESS  
8" CYPRESS  
10" CYPRESS  
8" CYPRESS  
12" CYPRESS  
10" CYPRESS  
8" CYPRESS  
10" CYPRESS  
8" CYPRESS  
10" CYPRESS

**MORANDO DESIGN**



STEVE MORANDO  
1016 MOUNT MORRISON ROAD  
MOUNTAIN VIEW, CA 92454  
PHONE 805.698.5791  
MORANDODESIGN@GMAIL.COM

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**BERLOW  
RESIDENCE**

353 MOUNTAIN  
VIEW

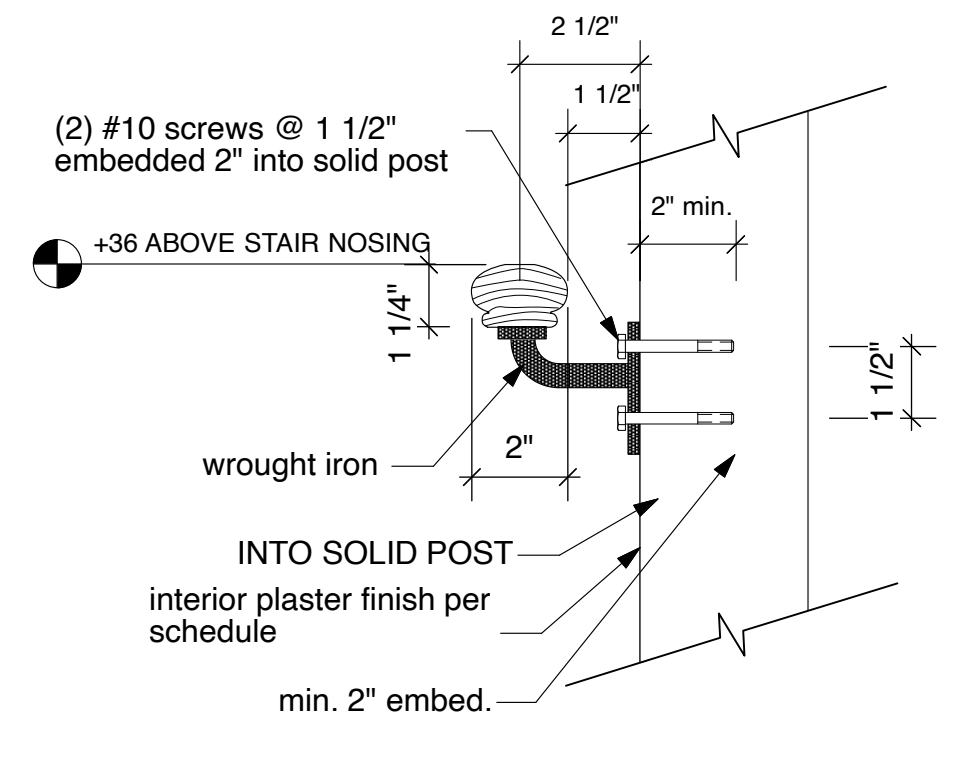
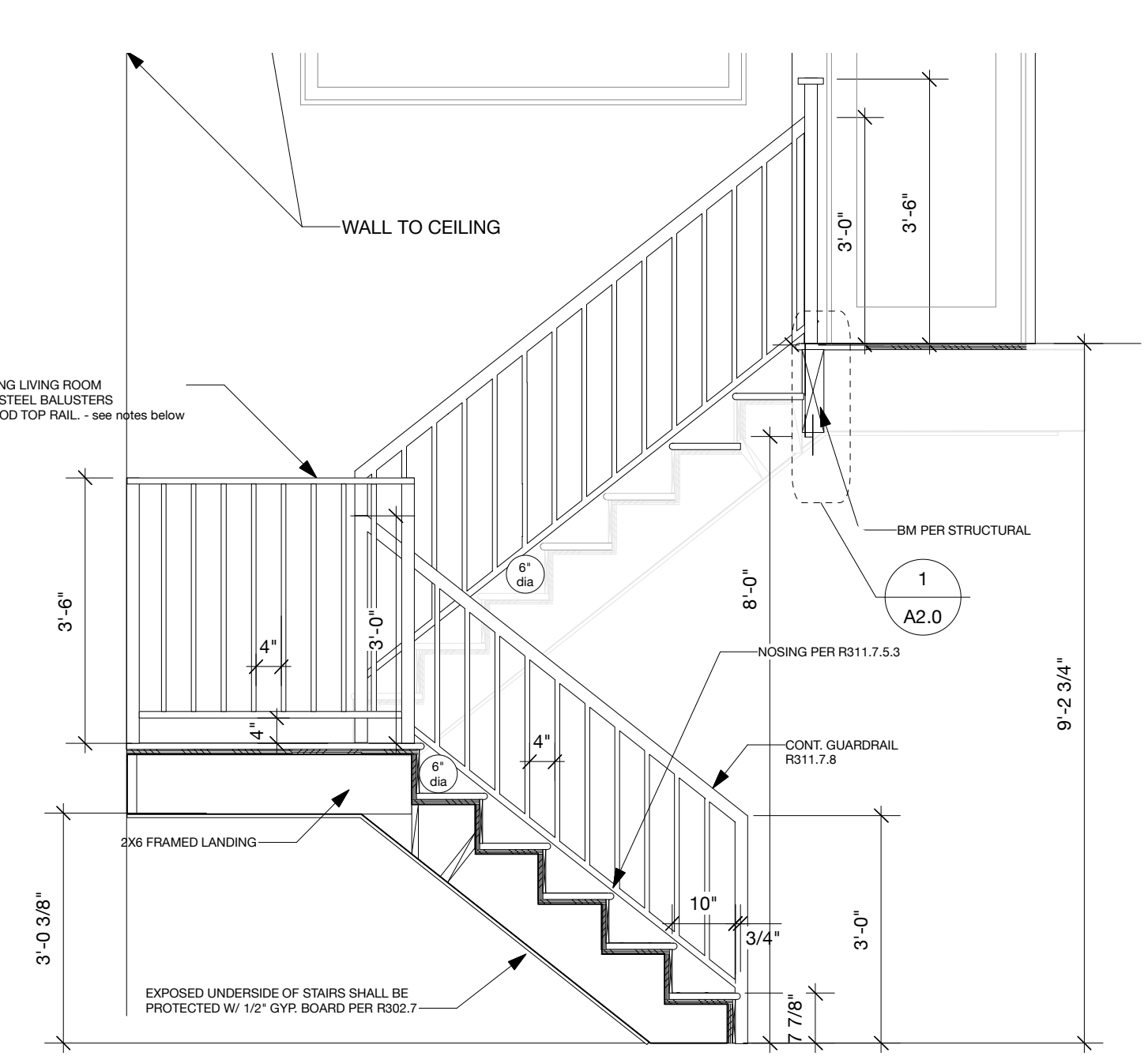
# SITE PLAN

REVISION	
1	Plan Check 1 04 May 18
2	REVISION FDN 08 08 18
3	REV. ADU SIZE 08 27 20
DATE 3 / 19 / 18	
SHEET	
<b>A0.1</b>	
OF 20 SHEETS	



- GENERAL CONSTRUCTION NOTES:**
- 1) ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
  - 2) DUCT OPENINGS AND OTHER REALTED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
  - 3) ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
  - 4) PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
  - 5) AEROSOL PAINTS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
  - 6) DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
  - 7) ALL FLOORING INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS LISTED IN THE CALIF. GREEN BUILDING STANDARDS CODE SECTIONS 4.504.3, 4.504.4, AND 4.504.5
  - 8) CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE PER CGC 4.505.3
  - 9) CONSTRUCTION WASTE REQUIREMENTS OF CRC R324.1 WILL BE MET RECYCLE AND / OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGCB CHPT 4, DIVISION 4
  - 10) CRC R330 FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINT AND COATINGS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH CGCB CHPT 4 DIV. 4.5

- ATTACHED GARAGE NOTES**
- 1 GARAGE SHALL BE SEPARATED FROM DWELLING UNIT & ATTIC AREA BY 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. CRC TABLE R302.6
  - 2 GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT CRC TABLE R302.6
  - 3 STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR REQUIRED DWELLING / GARAGE SEPARATION SHALL BE COVERED BY NOT LESS THAN 1/2" GYPSUM BOARD. CRC TABLE R302.6
  - 4 MIN. DOOR OPENINGS FROM GARAGE TO DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEY COMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING.
  - 5 NO OPENINGS DIRECTLY INTO A SLEEPING ROOM FROM THE GARAGE ARE ALLOWED. WHEN THE DWELLING AND GARAGE HAS FIRE SPRINKLERS INSTALLED PER R309.6 AND R313, DOORS INTO THE DWELLING UNIT FROM THE GARAGE ONLY NEED TO BE SELF-CLOSING AND SELF-LATCHING. R302.5.1 & T-R302.6
  - 6 DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE MINIMUM OF 26 GAUGE WITH NOT OPENINGS INTO THE GARAGE. R302.5.2
  - 7 GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING. R309.1
  - 8 APPLIANCES AND RECEPTACLES INSTALLED IN THE GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE THE FLOOR. PROVIDE PROTECTIVE POST(S) OR OTHER IMPACT BARRIER FROM VEHICLES. CMC 308
  - 9 PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE FIRE-BLOCKED PER SECTION R302.11.



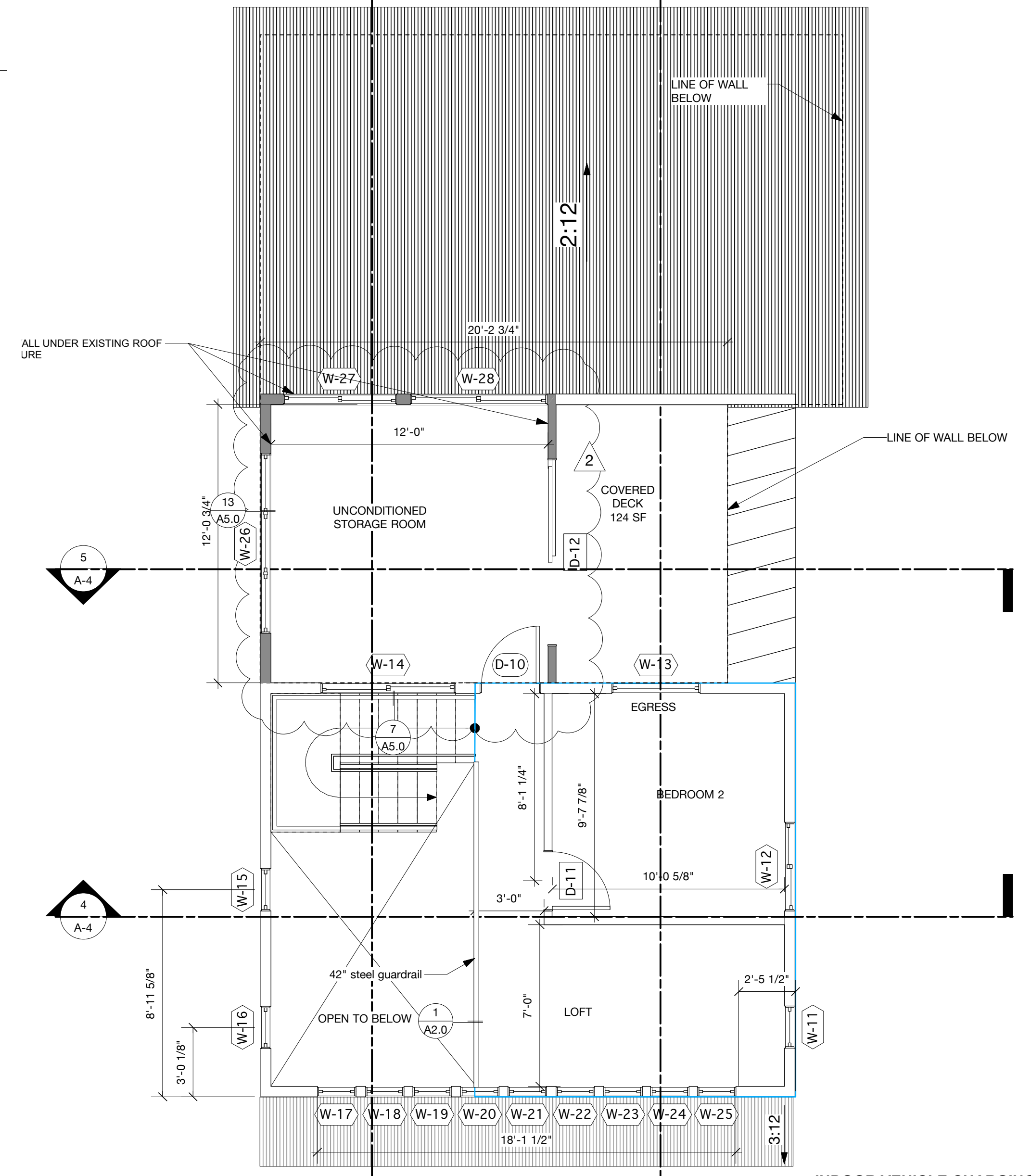
**7 HANDRAIL**  
Scale: 3" = 1'-0"

- STAIRWAY NOTES:**
1. Minimum stairway width shall be not less than 36". (R311.7.1 CRC)
  2. Handrails shall not project more than 4.5" on either side of the stairway. The clear stairway width at and below the handrail shall be 31 1/2" where a handrail is installed on one side and 27" where handrails are installed on both sides. (R311.7.1 CRC)
  3. Minimum clear headroom above nose of stair treads shall be 6'-8". (R311.7.2 CRC)
  4. Maximum stair riser height shall be 7.75". (R311.7.5.1 CRC)
  5. Minimum stair tread run shall be 10". (R311.7.4.2 CRC)
  6. Open risers are permitted provided that the opening located more than 30" vertically to floor or grade below do not permit the passage of a 4" diameter sphere. [CRC R311.7.5.1]
  7. Enclosed accessible space under stair requires 1 layer of 1/2" gypsum board
- Guards**
1. Open sides of walking surfaces, stairways, landings located more than 30" above the floor or grade below at any point within 36" measured horizontally shall have a minimum 42" high guard.  
EXCEPTION: Guard on the open sides of stairways may be 34" to 38" high. (R312.1 & R312.2CRC)
  2. Open guards shall have not have openings that allow passage of a 4-inch diameter sphere.  
EXCEPTION: Openings for required guards on the sides of stair treads shall not allow a sphere of 4 3/8" to pass through. (R312.1.3 CRC).

**STAIR DETAIL**  
Scale: 1/2" = 1'-0"

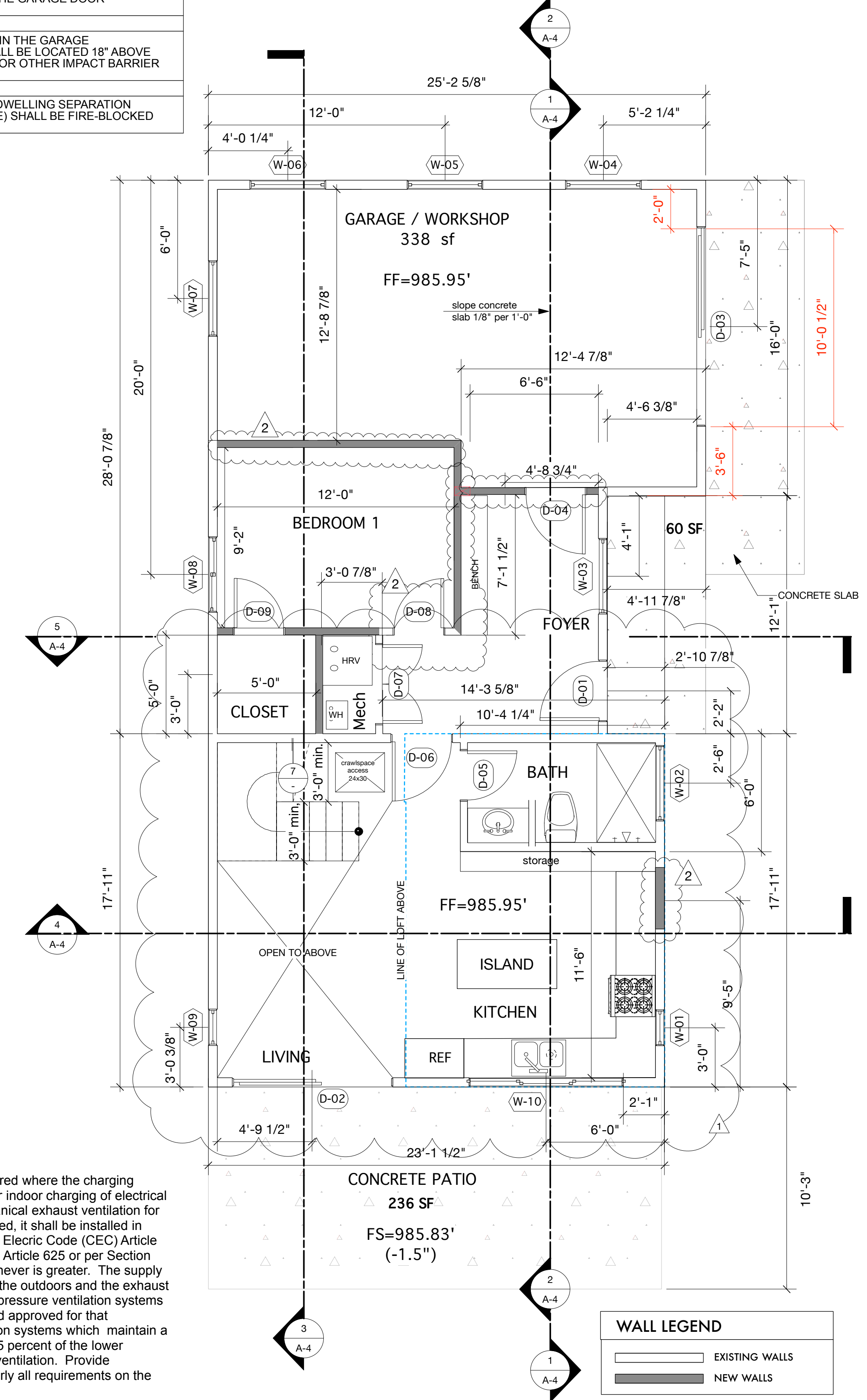
1	INSULATION ROOF = SEE INSULATION SCHEDULE WALLS =SEE INSULATION SCHEDULE FLOOR = SEE INSULATION SCHEDULE
2	PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
3	GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.
4	MAINTAIN OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVABLE AREA, WHERE PENETRATION OF FLOOR SHEATHING OCCURS (I.E. AT PLUMBING FIXTURES) SEAL AROUND PENETRATION WITH "SEAMCO PR-855" CAULKING OR BETTER
5	ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. W/ A MIN. NET HEIGHT DIMENSION OF 24" AND A NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR. - SEE WINDOW SCHEDULE FOR SIZES, HEADER & SILL
6	PROVIDE A CONTINUOUS 3'-0" WIDE MIN. PATH OF EGRESS FROM ALL BEDROOM WINDOWS TO A PUBLIC WAY.
7	ALL INTERIOR WALL DIMENSIONS TO BE 5 1/2" U.N.O.
8	PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.
9	
10	PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. A AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZ. SPACES WHICH OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. B IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS. IF THE WALLS OF THE STAIRS ARE UNFINISHED. C IN OPENINGS AROUND VENTS, PIPES DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIAL. D AT OPENING BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT FIREPLACES. E WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL, SHALL HAVE FIRE LOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. F THE INTEGRITY OF ALL FIREBLOCKING AND DRAFT STOPS SHALL BE MAINTAINED. G SOUND WALL TO BE CONSTRUCTED WITH 2 x STUDS WITH FULL BATT INSULATION AND 1 1/2" SOUND BOARD.
11	ALL FIRST FLOOR PLATE HEIGHTS. SHOWN ARE MEASURED FROM TOP OF FINISHED FLOOR.
12	ALL FLOOR SHEATHING SHALL BE 1 1/8" THICK.
13	
14	5/8" GYP. BRD TYP. WALLS AND CL'G

- HIGH FIRE REQUIREMENTS**
1. ROOFING - CLASS A
  2. NO EAVE OR CORNICE VENTS
  3. PROTECTED EAVES- IGNITION RESISTANT OR NON COMBUSTIBLE
  4. EXTERIOR WALL COVERINGS- 20 MIN. RATED
  5. EXTERIOR GLAZING - ONE TEMPERED PANE OR 20 MIN. RATING
  6. EXTERIOR DOOR - 20 MIN. RATED
  7. NEW EXPOSED WOOD STRUCTURAL MEMBERS SHALL BE OF IGNITION- RESISTANT MATERIAL FOR MORE SEE CRC2013, SEC R337



**2ND FLOOR**  
Scale: 1/4" = 1'-0"

- INDOOR VEHICLE CHARGING**
- Mechanical exhaust ventilation is not required where the charging equipment utilized is installed and listed for indoor charging of electrical vehicles without ventilation. Where mechanical exhaust ventilation for electrical ehicles in door locations is required, it shall be installed in accordance with CRC R328 and California Electric Code (CEC) Article 625. Ventilation is to be provided per CEC Article 625 or per Section 1203 of the California Building Code, whichever is greater. The supply air for the ventilation system shall be from the outdoors and the exhaust shall vent directly to the exterior. Positive pressure ventilation systems are allowed when specifically designed and approved for that application. Approved engineered ventilation systems which maintain a hydrogen gas concentration at less than 25 percent of the lower flammability limit shall not require exhaust ventilation. Provide calculations as necessary and specify clearly all requirements on the plans. CRC R328; CEC Article 625



**PROPOSED FIRST FLOOR PLAN**  
Scale: 1/4" = 1'-0"

**WALL LEGEND**

[Line style]	EXISTING WALLS
[Line style]	NEW WALLS



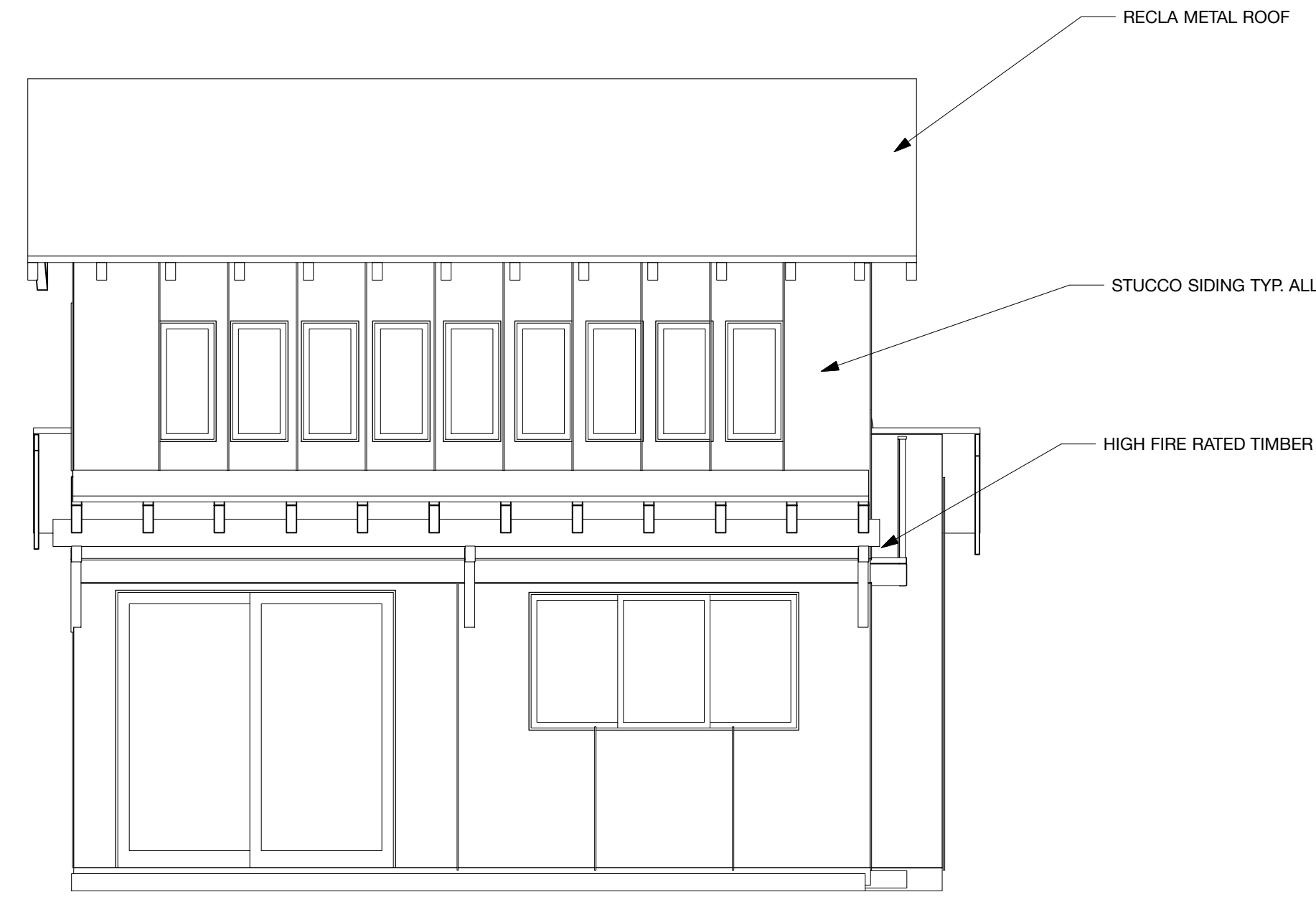
REVISION

1	Plan Check 1	04 May 18
2	REVISION FDN	08 08 18
3	REV. ADU SIZE	08 27 20

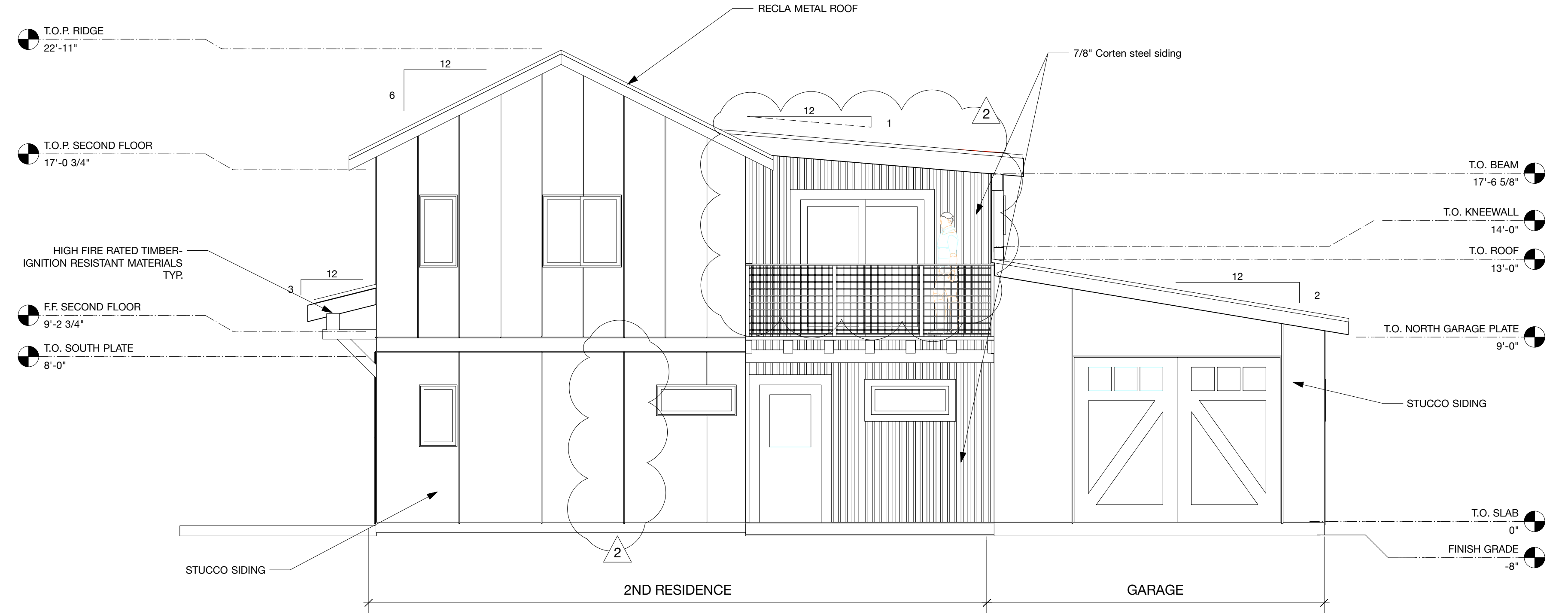
DATE 3 / 19 / 18

SHEET

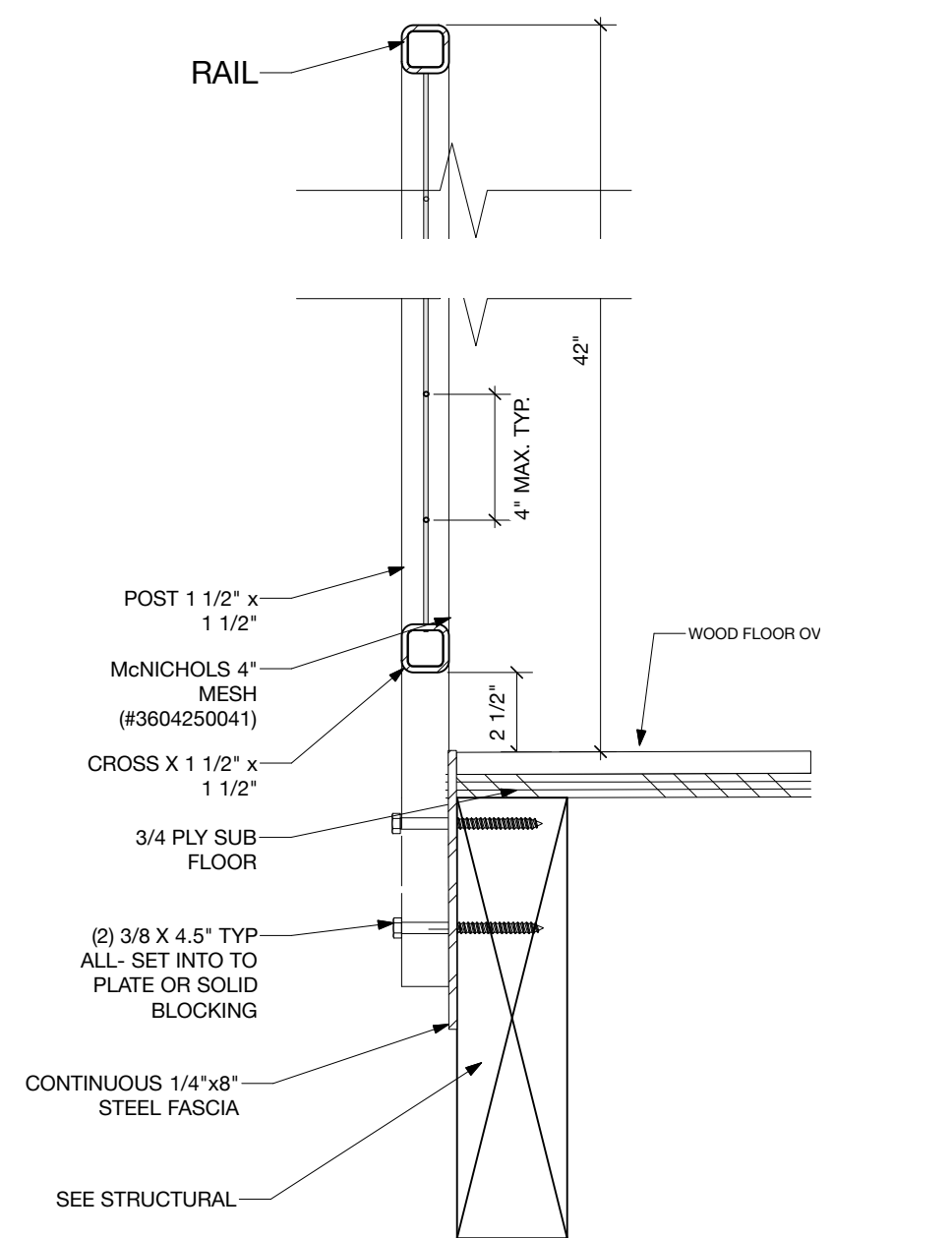
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OF 20 SHEETS



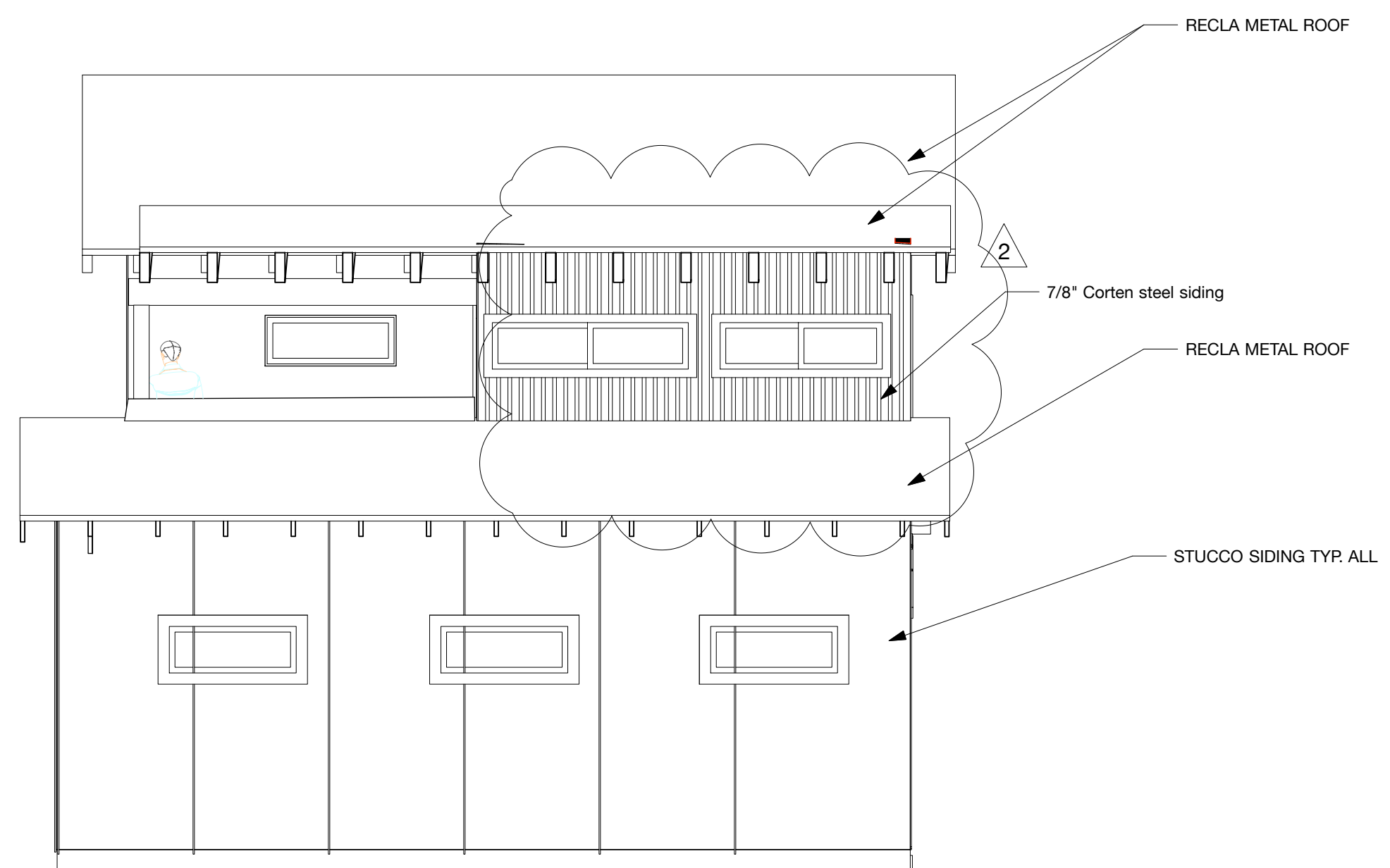
SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



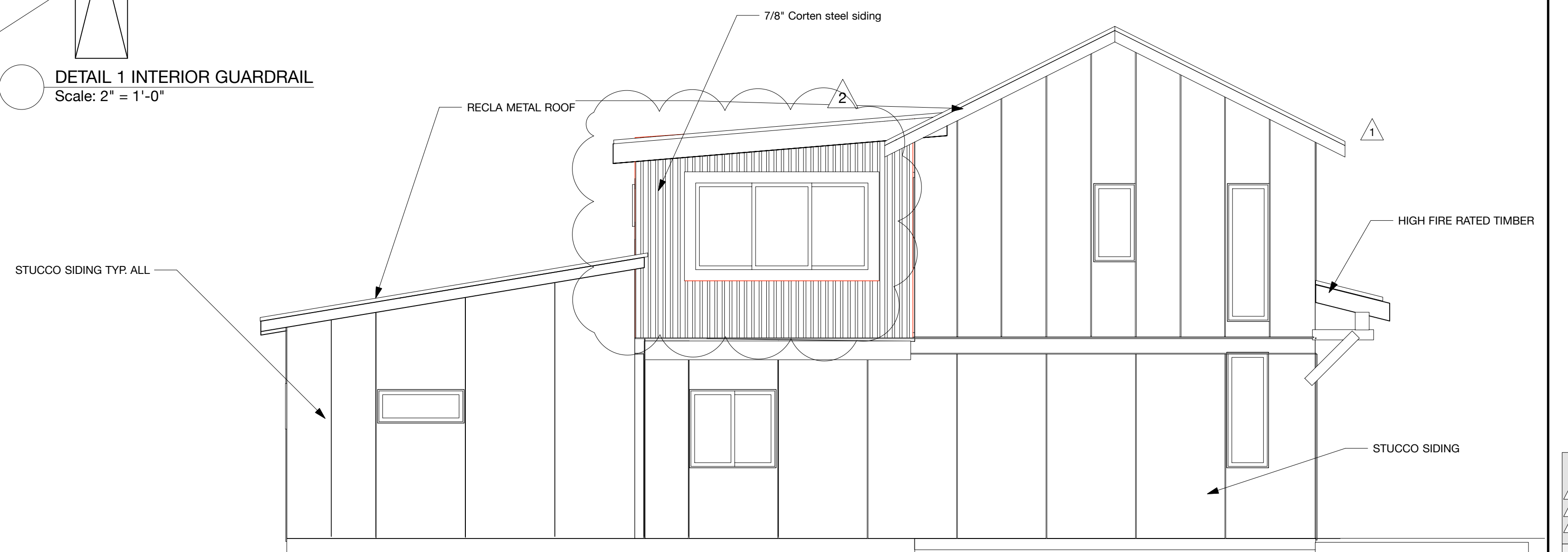
EAST ELEVATION  
Scale: 1/4" = 1'-0"



DETAIL 1 INTERIOR GUARDRAIL  
Scale: 2" = 1'-0"



NORTH ELEVATION  
Scale: 1/4" = 1'-0"



WEST ELEVATION  
Scale: 1/4" = 1'-0"

## CONDITIONS OF APPROVAL

DR 20-013 is issued with the following conditions:

1. Future development shall meet requirements of the Mono County General Plan, Mono County Code, and project conditions.
2. Project shall comply with all Mono County Building Division, Planning Division, Public Works Department, and Environmental Health Department requirements.
3. The ADU shall provide two on-site parking spaces for the ADU in addition to the two required spaces for the primary residence. Parking and driveway design shall comply with Chapter 6, Parking.
4. Exterior lighting shall comply with Chapter 23 – Dark Sky Regulations.
5. At a minimum, one of the units on the parcel (either the primary or the ADU) shall be owner-occupied. Issuance of DR 20-013 requires that if the owner rents the secondary unit, it shall be available only for long-term tenancy (i.e. more than 30 days).
6. All construction shall conform to the height, setback, lot coverage, fees, snow storage, and other development requirements applicable to residential construction in the ER land use designation.
7. The accessory dwelling unit shall be architecturally compatible with the primary residence.
8. The Director Review shall become active only after the applicant has revised plans approved by the Mono County Building Division.
9. The project shall submit a Wheeler Crest Design Review application and receive approval from the Wheeler Crest Design Review Committee.
10. Termination. A Director Review shall terminate, and all rights granted therein shall lapse, and the property affected thereby shall be subject to all the provisions and regulations applicable to the land use designation in which such property is classified at the time of such abandonment, when any of the following occur:
  - A. There is a failure to commence the exercise of such rights, as determined by the Director, within two years from the date of approval thereof. Exercise of rights shall mean substantial construction or physical alteration of property in compliance with the terms of the Director Review.
  - B. There is discontinuance for a continuous period of one year, as determined by the Director, of the exercise of the rights granted.
  - C. No extension is granted as provided in Section 31.080.
8. Extension: If there is a failure to exercise the rights of the Director Review within two years of the date of approval, the applicant may apply for an extension for an additional one year. Any request for extension shall be filed at least 60 days prior to the date of expiration and shall be accompanied by the appropriate fee. Upon receipt of the request for extension, the Planning Division shall review the application to determine the extent of review necessary. Conditions of Approval for the Director

Review may be modified or expanded, including revision of the proposal, if deemed necessary. The Planning Division may also deny the request for extension. Exception to this provision is permitted for those Director Reviews approved concurrently with a tentative parcel or tract map; in those cases, the approval period(s) shall be the same as for the tentative map.

9. Revocation: The Planning Commission may revoke the rights granted by a Director Review, and the property affected thereby shall be subject to all the provisions and regulations of the Land Use Designations and Land Development Regulations applicable as of the effective date of revocation. Such revocation shall include the failure to comply with any condition contained in the Director Review or the violation by the owner or tenant of any provision pertaining to the premises for which such Director Review was granted. Before revocation of any permit, the commission shall hold a hearing thereon after giving written notice thereof to the permittee at least 10 days in advance of such hearing. The decision of the commission may be appealed to the Board of Supervisors in accordance with Chapter 47, Appeals, and shall be accompanied by an appropriate filing fee.

This Director Review permit shall become effective 10 days following the issuance of the Director's decision. This decision may be appealed within 10 days by filing a written notice of appeal with the secretary of the Planning Commission. If an appeal is filed, the permit will not be issued until the appeal is considered and the Planning Commission renders a decision.

PREPARED BY: Kelly Karl, Associate Planner      DATE OF DECISION: \_\_\_\_\_

SIGNED: \_\_\_\_\_  
Wendy Sugimura, Community Development Director