

# Mono County Community Development Department

PO Box 347  
Mammoth Lakes, CA 93546  
760.924.1800, fax 924.1801  
commdev@mono.ca.gov

## Planning Division

PO Box 8  
Bridgeport, CA 93517  
760.932.5420, fax 932.5431  
www.monocounty.ca.gov

### DIRECTOR REVIEW APPLICATION

APPLICATION # _____	FEE \$ _____
DATE RECEIVED _____	RECEIVED BY _____
RECEIPT # _____	CHECK # _____ (NO CASH)

**APPLICANT/AGENT** Eric Berlow

MAILING ADDRESS 2151 1/2 Stuart St CITY/STATE/ZIP Berkeley / CA / 94705  
 TELEPHONE ( 209 ) 625-6700 E-MAIL ericberlow@gmail.com

**OWNER**, if other than applicant \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY/STATE/ZIP \_\_\_\_\_  
 TELEPHONE ( \_\_\_\_\_ ) \_\_\_\_\_ E-MAIL \_\_\_\_\_

**DESCRIPTION OF PROPERTY:**

Assessor's Parcel # 064150011000 General Plan Land Use Designation Estate Residential

**PROPOSED USE:** Applicant(s) should describe the proposed project in detail, using additional sheets if necessary. Note: An incomplete or inadequate project description may delay project processing.

Please see attached description, plans, and supplementary documents attached.

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I CERTIFY UNDER PENALTY OF PERJURY THAT I am:  legal owner(s) of the subject property (all individual owners must sign as their names appear on the deed to the land),  corporate officer(s) empowered to sign for the corporation, or  owner's legal agent having Power of Attorney for this action (a notarized "Power of Attorney" document must accompany the application form), AND THAT THE FOREGOING IS TRUE AND CORRECT.

\_\_\_\_\_  
Signature

  
Signature

06/10/2020  
Date



### Why 100 Feet?

Following these simple steps can dramatically increase the chance of your home surviving a wildfire!

A defensible space of 100 feet around your home is required by law. The goal is to protect your home while providing a safe area for firefighters.

- 1. Learn, Clean and Green Zone**
  - Clearing an area of 30 feet immediately surrounding your home is critical. This area requires the greatest reduction in flammable vegetation.
  - The fuel reduction zone in the remaining 70 feet (or to property line) will depend on the steepness of your property and the vegetation.
- 2. "Reduced Fuel Zone"**
  - Spacing between plants improves the chance of stopping a wildfire before it destroys your home. You have two options in this area.
  - Create horizontal and vertical spacing between plants. The amount of space will depend on how steep the slope is and the size of the plants.
  - Large trees do not have to be cut and removed as long as all of the plants beneath them are removed. This eliminates a vertical "fire ladder."

When clearing vegetation, use care when operating equipment such as lawnmowers. One small spark may start a fire; a string trimmer is much safer.

Remove all build-up of needles and leaves from your roof and gutters. Keep tree limbs trimmed at least 10 feet from any chimneys and remove dead limbs that hang over your home or garage. The law also requires a screen over your chimney outlet of not more than 1/2 inch mesh.

These regulations affect most of the grass, brush, and removed green waste in the State. Some fire department regulations may have additional requirements. Some activities may require special procedures for tree removal. Also, some water quality. Check with local officials if in doubt. Current regulations allow an insurance company to require additional clearance. The area to be treated does not extend beyond your property. The State Board of Forestry and Fire Protection has approved Guidelines to assist you in complying with the new law. Contact your local CAL FIRE office for more details.

**July 2007**

ABBREVIATIONS		GENERAL NOTES		
@	AT PENNY FOUND ANCHOR BOLT ASPHALTIC CONCRETE AIR CONDITIONING ALUMINUM ANODIZED AWNING BOARD BIFOLD BUILDING BLOCKING) BM BOUNDARY NAILING BOTTOM CATCH BASIN CAST IRON CEILING JOIST CEILING CLG CLOSET CLR CLEAR CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN CONN CONNECTION CONT CONTINUOUS CS CASEMENT CSK COUNTERSINK DF DOUGLAS FIR DH DOUBLE HUNG DIA DIAMETER DN DOWN DWS DOWNSPOUT DWG DRAWING E EAST (E) EXISTING EA EACH EJ EXPANSION JOINT ELEV ELEVATION EN EDGE NAIL EQ EQUAL EQUIP EQUIPMENT FAU FORCED AIR UNIT FBO FURNISHED BY OWNER OR OTHERS, TO BE INSTALLED BY CONTRACTOR	LT LIGHT MAS MASONRY MATL MATERIAL MAX MAXIMUM MB MACHINE BOLT MECH MECHANICAL MEMB MEMBRANE MET METAL MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS N NORTH N NEW NIC NOT IN CONTRACT NO OR NUMBER NTS NOT TO SCALE OC ON CENTER OH OVAL HEAD OR OVER HEAD OPNG OPENING PERFR PERFORATED PRE FINISHED PLATE OR PROPERTY LINE PLAM PLASTIC LAMINATE PLAS PLASTER PLYWD PLYWOOD PMTR PERIMETER PT PAINT PR PAIR PTFD PRESSURE TREATED RD DOUGLAS FIR RH ROUND HEAD RM ROOM RO ROUGH OPENING RWD REDWOOD SCHED SCHEDULE(D) SCW SOUTH S SQUARE FEET SH SINGLE HUNG SHT SHEATHING SHTG SIMILAR SMACNA RE: THE ARCH SHEET METAL MANUAL STRUCTURAL SPECIFICATION SQUARE S/S STAINLESS STEEL ST STAIN STD STANDARD STL STEEL TC TOP OF CURB OR TOP OF CONCRETE TOP OF CATCH BASIN T&G TONGUE AND GROOVE THRU THROUGH TMP TEMPERED TP TOP OF PAVING TW TOP OF WALL TYP TYPICAL ITEMS TYPICAL UNLESS SHOWN OR NOTED OTHERWISE) UNOS UNLESS NOTED OTHERWISE UV ULTRAVIOLET BLOCKING GLASS VCT VINYL COMPOSITION TILE VERT VERTICAL VGRD VERTICAL GRAIN DOUGLAS FIR VENT THRU ROOF W WEST WC WATER CLOSET WD WOOD WH WATER HEATER WATERPROOF WS WOOD SCREW WWF WELDED WIRE FABRIC W WITH W/O WITHOUT	1. THE ENGINEER AND DESIGNER DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK CONTAINED IN THESE DRAWINGS AND THE ENGINEERING CALCULATIONS BEYOND A REASONABLE DILIGENCE.	1. INSULATION ROOF = R-38 SPRAY FOAM INSULATION WALLS = R-19 BATT INSULATION FLOOR / SLAB = R-7 RIGID INSULATION EDGE OF FOUNDATION AND 16" DOWN FLOOR / WOOD = R-19 PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
2. IF ANY OMISSIONS, MISTAKES, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ENGINEER AND ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT THEY MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER AND ARCHITECT OF SUCH CONDITIONS SHALL ABOLISH THEM OF ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE.	2. PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.	3. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM AND INSTALL ANY AND ALL WORK, LABOR, AND MATERIALS WHICH ARE NECESSARY, IMPLIED, OR REQUIRED TO PRODUCE THE INTENDED RESULTS.	3. GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.	
4. ALL CONTRACTORS SHALL BE LICENSED AND INSURED. OTHERWISE THE ENGINEER AND ARCHITECT DO NOT ASSUME ANY RESPONSIBILITY FOR THE ENGINEER'S AND ARCHITECT'S WORK PRODUCT.	4. MAINTAIN OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVABLE AREA, WHERE PENETRATION OF FLOOR SHEATHING OCCURS (I.E. AT PLUMBING FIXTURES) SEAL AROUND PENETRATION WITH "SEAMCO PR-855" CAULKING OR BETTER	5. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, CLEARANCES, AND EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL PROMPTLY AND BEFORE SUCH CONDITIONS ARE DISTURBED, NOTIFY THE ARCHITECT AND THE ENGINEER IN WRITING OF SUSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE DOCUMENTS, OR UNKNOWN PHYSICAL CONDITIONS AT THE SITE OF AN UNUSUAL NATURE DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE WORK PRODUCT.	4. MAINTAIN OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVABLE AREA, WHERE PENETRATION OF FLOOR SHEATHING OCCURS (I.E. AT PLUMBING FIXTURES) SEAL AROUND PENETRATION WITH "SEAMCO PR-855" CAULKING OR BETTER	
6. ENGINEER ALWAYS RECOMMENDS THAT A SOILS REPORT BE PROVIDED BY THE OWNER. IF ONE IS NOT PROVIDED, THE ENGINEER SHALL DESIGN FOOTINGS PER THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE ADOPTED BY THE BUILDING DEPARTMENT. PAYMENT FOR ALL INSPECTIONS AND TESTS PERFORMED BY A SOILS LAB IS THE RESPONSIBILITY OF THE OWNER.	5. ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. W/A MIN. NET HEIGHT DIMENSION OF 24" AND A NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR. - SEE WINDOW SCHEDULE FOR SIZES, HEADER & SILL INTERVALS BOTH VERTICAL AND HORIZONTAL.	7. SPECIAL INSPECTIONS REQUIRED BY THE BUILDING CODE SHALL BE PERFORMED BY AN INSPECTOR OF THE OWNER'S CHOICE APPROVED BY THE BUILDING OFFICIAL, AND FEES FOR SUCH SERVICES SHALL BE PAID BY THE OWNER.	5. ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. W/A MIN. NET HEIGHT DIMENSION OF 24" AND A NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR. - SEE WINDOW SCHEDULE FOR SIZES, HEADER & SILL INTERVALS BOTH VERTICAL AND HORIZONTAL.	
8. THE PLANS AND ENGINEERING CALCULATIONS DO NOT COVER LATENT DEFECTS IN EXISTING STRUCTURES, THE EVALUATION OF GEOLOGIC CONDITIONS, EXTERIOR DRAINAGE EXCEPT AS NOTED ON THE PLANS, OR DAMAGE RESULTING FROM INSECT INFESTATION OR ROT.	6. PROVIDE A CONTINUOUS 3'-0" WIDE MIN. PATH OF EGRESS FROM ALL BEDROOM WINDOWS TO A PUBLIC WAY.	9. NO ASSURANCE IS GIVEN THAT EXISTING STRUCTURES AND SYSTEMS ARE BUILT OR MAINTAINED IN ACCORDANCE WITH CURRENT BUILDING CODES.	6. PROVIDE A CONTINUOUS 3'-0" WIDE MIN. PATH OF EGRESS FROM ALL BEDROOM WINDOWS TO A PUBLIC WAY.	
10. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.	7. ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE	11. THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE BEST STANDARD SPECIFICATIONS OF MATERIALS AND APPLICATIONS. ALL FINISH MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.	7. ALL INTERIOR WALL DIMENSIONS TO BE 3 1/2" UNLESS NOTED OTHERWISE	
11. THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE BEST STANDARD SPECIFICATIONS OF MATERIALS AND APPLICATIONS. ALL FINISH MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.	8. PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.	12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL NECESSARY TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS COMPLETED. HE SHALL ENSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED.	8. PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.	
13. THE CONTRACTOR SHALL ENSURE THAT ALL WORK AND MATERIALS ARE PROTECTED FROM DAMAGE FROM NATURAL FORCES AND OTHER TRADES.	9. PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZ. SPACES WHICH OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING. C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS , IF THE WALLS OF THE STAIRS ARE UNFINISHED. D. IN OPENINGS AROUND VENTS, PIPES DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIAL. E. AT OPENING BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT FIREPLACES. F. WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL, SHALL HAVE FIRE LOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. G. THE INTEGRITY OF ALL FIREBLOCKING AND DRAFT STOPS SHALL BE MAINTAINED. H. SOUND WALL TO BE CONSTRUCTED WITH 2 X STUDS WITH FULL BATT INSULATION AND 1 1/2" SOUND BOARD.	14. SHOULD ANY DISPUTE ARISE REGARDING THIS WORK, ALL PARTIES AGREE THAT THE SOLE REMEDY FOR ANY SUCH DISPUTE SHALL BE DECIDED BY THE PROCEDURES PROVIDED BY THE AMERICAN ARBITRATION ASSOCIATION AND THIS ARBITRATION SHALL BE BINDING UPON ALL PARTIES. IF THE ENGINEER AND/OR ARCHITECT IS FOUND TO HAVE PERFORMED HIS WORK PER CONTRACT OR AGREEMENT, THE ENGINEER AND/OR THE ARCHITECT SHALL BE REIMBURSED FOR REASONABLE ATTORNEYS' FEES. IN ADDITION, IF IT IS FOUND THAT A BAD-FAITH CLAIM WAS FILED OR OWNER CARDINAL CHANGES MADE, PUNITIVE OR TREBLE DAMAGES SHALL BE RECOVERED FROM THE CLAIMANT AND SAID CLAIMANT SHALL BE RESPONSIBLE FOR CONSEQUENTIAL OR DIRECT IMPACT AND LOSS OF EFFICIENCY DAMAGES TO THE ENGINEER AND/OR THE ARCHITECT. UNDER NO CIRCUMSTANCES SHALL ENGINEER OR ARCHITECT PAY CLAIMANT ATTORNEY FEES OR OTHER COSTS ASSOCIATED WITH THIS PROJECT.	9. PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZ. SPACES WHICH OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING. C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS , IF THE WALLS OF THE STAIRS ARE UNFINISHED. D. IN OPENINGS AROUND VENTS, PIPES DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIAL. E. AT OPENING BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT FIREPLACES. F. WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL, SHALL HAVE FIRE LOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. G. THE INTEGRITY OF ALL FIREBLOCKING AND DRAFT STOPS SHALL BE MAINTAINED. H. SOUND WALL TO BE CONSTRUCTED WITH 2 X STUDS WITH FULL BATT INSULATION AND 1 1/2" SOUND BOARD.	
15. USE OF THE PLANS AND SPECIFICATIONS CONSTITUTES ACCEPTANCE BY OWNER AND CONTRACTOR OF THESE TERMS AND CONDITIONS.	10. PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.	15. OTHER: ALL SOIL TO BE EXPORTED OFF SITE	10. PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.	

ABBREVIATIONS		GENERAL NOTES	
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HB	HOSE BIBB		2. IF ANY OMISSIONS, MISTAKES, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ENGINEER AND ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT THEY MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER AND ARCHITECT OF SUCH CONDITIONS SHALL ABOLISH THEM OF ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE.
HCW	HOLLOW CORE WOOD		3. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM AND INSTALL ANY AND ALL WORK, LABOR, AND MATERIALS WHICH ARE NECESSARY, IMPLIED, OR REQUIRED TO PRODUCE THE INTENDED RESULTS.
HM	HOLLOW METAL		4. ALL CONTRACTORS SHALL BE LICENSED AND INSURED. OTHERWISE THE ENGINEER AND ARCHITECT DO NOT ASSUME ANY RESPONSIBILITY FOR THE ENGINEER'S AND ARCHITECT'S WORK PRODUCT.
HP	HORSE POWER		5. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, CLEARANCES, AND EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL PROMPTLY AND BEFORE SUCH CONDITIONS ARE DISTURBED, NOTIFY THE ARCHITECT AND THE ENGINEER IN WRITING OF SUSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE DOCUMENTS, OR UNKNOWN PHYSICAL CONDITIONS AT THE SITE OF AN UNUSUAL NATURE DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE WORK PRODUCT.
HR	HOUR		6. ENGINEER ALWAYS RECOMMENDS THAT A SOILS REPORT BE PROVIDED BY THE OWNER. IF ONE IS NOT PROVIDED, THE ENGINEER SHALL DESIGN FOOTINGS PER THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE ADOPTED BY THE BUILDING DEPARTMENT. PAYMENT FOR ALL INSPECTIONS AND TESTS PERFORMED BY A SOILS LAB IS THE RESPONSIBILITY OF THE OWNER.
HTR	HEATER		7. SPECIAL INSPECTIONS REQUIRED BY THE BUILDING CODE SHALL BE PERFORMED BY AN INSPECTOR OF THE OWNER'S CHOICE APPROVED BY THE BUILDING OFFICIAL, AND FEES FOR SUCH SERVICES SHALL BE PAID BY THE OWNER.
HVAC	HEATING/ VENTILATION/ AIR CONDITIONING		8. THE PLANS AND ENGINEERING CALCULATIONS DO NOT COVER LATENT DEFECTS IN EXISTING STRUCTURES, THE EVALUATION OF GEOLOGIC CONDITIONS, EXTERIOR DRAINAGE EXCEPT AS NOTED ON THE PLANS, OR DAMAGE RESULTING FROM INSECT INFESTATION OR ROT.
HW(R)	HOT WATER (RETURN)		9. NO ASSURANCE IS GIVEN THAT EXISTING STRUCTURES AND SYSTEMS ARE BUILT OR MAINTAINED IN ACCORDANCE WITH CURRENT BUILDING CODES.
INV	INVERT		10. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
LAG	LAMINATED GLASS		11. THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE BEST STANDARD SPECIFICATIONS OF MATERIALS AND APPLICATIONS. ALL FINISH MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
LAM	LAMINATE		12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL NECESSARY TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS COMPLETED. HE SHALL ENSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED.
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INV	INVERT		10. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
LAG	LAMINATED GLASS		11. THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE BEST STANDARD SPECIFICATIONS OF MATERIALS AND APPLICATIONS. ALL FINISH MATERIAL SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.
LAM	LAMINATE		12. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL NECESSARY TEMPORARY BRACING AND SHORING TO ENSURE THE SAFETY OF THE WORK UNTIL IT IS COMPLETED. HE SHALL ENSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED.
LB	LAG BOLT		13. THE CONTRACTOR SHALL ENSURE THAT ALL WORK AND MATERIALS ARE PROTECTED FROM DAMAGE FROM NATURAL FORCES AND OTHER TRADES.

ABBREVIATIONS		GENERAL NOTES	
GA	GALVANIZED GYP GYP	UV ULTRAVIOLET BLOCKING GLASS VCT VINYL COMPOSITION TILE VERT VERTICAL VGRD VERTICAL GRAIN DOUGLAS FIR VENT THRU ROOF W WEST WC WATER CLOSET WD WOOD WH WATER HEATER WATERPROOF WS WOOD SCREW WWF WELDED WIRE FABRIC W WITH W/O WITHOUT	1. THE ENGINEER AND DESIGNER DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK CONTAINED IN THESE DRAWINGS AND THE ENGINEERING CALCULATIONS BEYOND A REASONABLE DILIGENCE.
HB	HOSE BIBB		2. IF ANY OMISSIONS, MISTAKES, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE WORK PRODUCT, THE ENGINEER AND ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT THEY MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER AND ARCHITECT OF SUCH CONDITIONS SHALL ABOLISH THEM OF ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE.
HCW	HOLLOW CORE WOOD		3. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM AND INSTALL ANY AND ALL WORK, LABOR, AND MATERIALS WHICH ARE NECESSARY, IMPLIED, OR REQUIRED TO PRODUCE THE INTENDED RESULTS.
HM	HOLLOW METAL		4. ALL CONTRACTORS SHALL BE LICENSED AND INSURED. OTHERWISE THE ENGINEER AND ARCHITECT DO NOT ASSUME ANY RESPONSIBILITY FOR THE ENGINEER'S AND ARCHITECT'S WORK PRODUCT.
HP	HORSE POWER		5. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, CLEARANCES, AND EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL PROMPTLY AND BEFORE SUCH CONDITIONS ARE DISTURBED, NOTIFY THE ARCHITECT AND THE ENGINEER IN WRITING OF SUSURFACE OR LATENT PHYSICAL CONDITIONS AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED IN THE DOCUMENTS, OR UNKNOWN PHYSICAL CONDITIONS AT THE SITE OF AN UNUSUAL NATURE DIFFERING MATERIALLY FROM THOSE ORDINARILY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN WORK OF THE CHARACTER PROVIDED FOR IN THE WORK PRODUCT.
HR	HOUR		6. ENGINEER ALWAYS RECOMMENDS THAT A SOILS REPORT BE PROVIDED BY THE OWNER. IF ONE IS NOT PROVIDED, THE ENGINEER SHALL DESIGN FOOTINGS PER THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE ADOPTED BY THE BUILDING DEPARTMENT. PAYMENT FOR ALL INSPECTIONS AND TESTS PERFORMED BY A SOILS LAB IS THE RESPONSIBILITY OF THE OWNER.
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Note:  
 Wildland Urban Interface Requirements  
 1A. Defensible Space - 30' and 100' structure clearance  
 B. Class A Roofing Material  
 C. No eave venting or exposed eave construction  
 D. Fire-resistant siding  
 E. One pane of tempered glass at all exterior windows  
 F. Fire-resistant doors  
 G. Fire-resistant deck construction

2. provide 2 1/2" inlet and outlet with National hose thread w/ valve  
 3. water tank may be located above ground - valves need to be accessible to Fire crew.

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HVAC	HEATING/ VENTILATION/ AIR CONDITIONING		

18" CMP SDP  
INV IN = 983.77'

MOUNTAIN VIEW DRIVE

POWER POLE  
UTILITY VAULT ELECTRIC

88°57'45"E 149.88'

BAR & CAP  
D "LS 4428"

DIRT DRIVEWAY  
2" MAPLE  
1" P  
2" P

RR TIE

DIRT DRIVEWAY  
50'-0" SETBACK

SET REBAR  
GED "LS

INV C

DIRT PARKING

CONC PAD

PROPOSED GARAGE  
347 SF

PROPOSED ACCESSORY  
DWELLING UNIT

FOOTPRINT AREA  
OF PROPOSED  
COVERED ENTRY  
315 SF

RAMP

STAIRS

DECK

SPA

EXISTING RESIDENCE  
1,318 SF  
FF = 986.95'

DECK 444 SF

LOT 14

HOT WATER  
SOLAR PANELS

SEPTIC LIDS

FUTURE SOLAR ARRAY - NOT PART OF THIS PERMIT

S0°32'59"W 199.90'

S0°31'36"W 199.83'

1 Site Plan  
Scale: 1/8" = 1'-0"

1 Site Plan  
Scale: 1/8" = 1'-0"



UMDT34ANAR

N89°30'16"E 149.80'

12" CYPRESS

8" CYPRESS

8" CYPRESS

6" CYPRESS

8" CYPRESS

12" CYPRESS

10" CYPRESS

10" CYPRESS

8" CYPRESS

10" CYPRESS

6" CYPRESS

12" CYPRESS

10" CYPRESS

8" CYPRESS

8" CYPRESS

10" CYPRESS

10" CYPRESS

**MORANDO DESIGN**

STEVE MORANDO  
1016 MOUNT MORRISON ROAD  
MOUNTAIN VIEW, CA 92654  
PHONE 805.698.5791  
MORANDODESIGN@GMAIL.COM

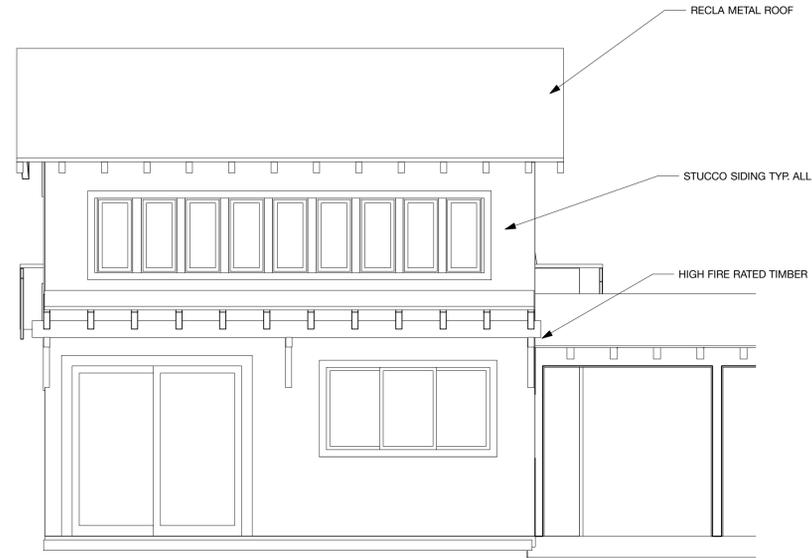
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**BERLOW  
RESIDENCE**

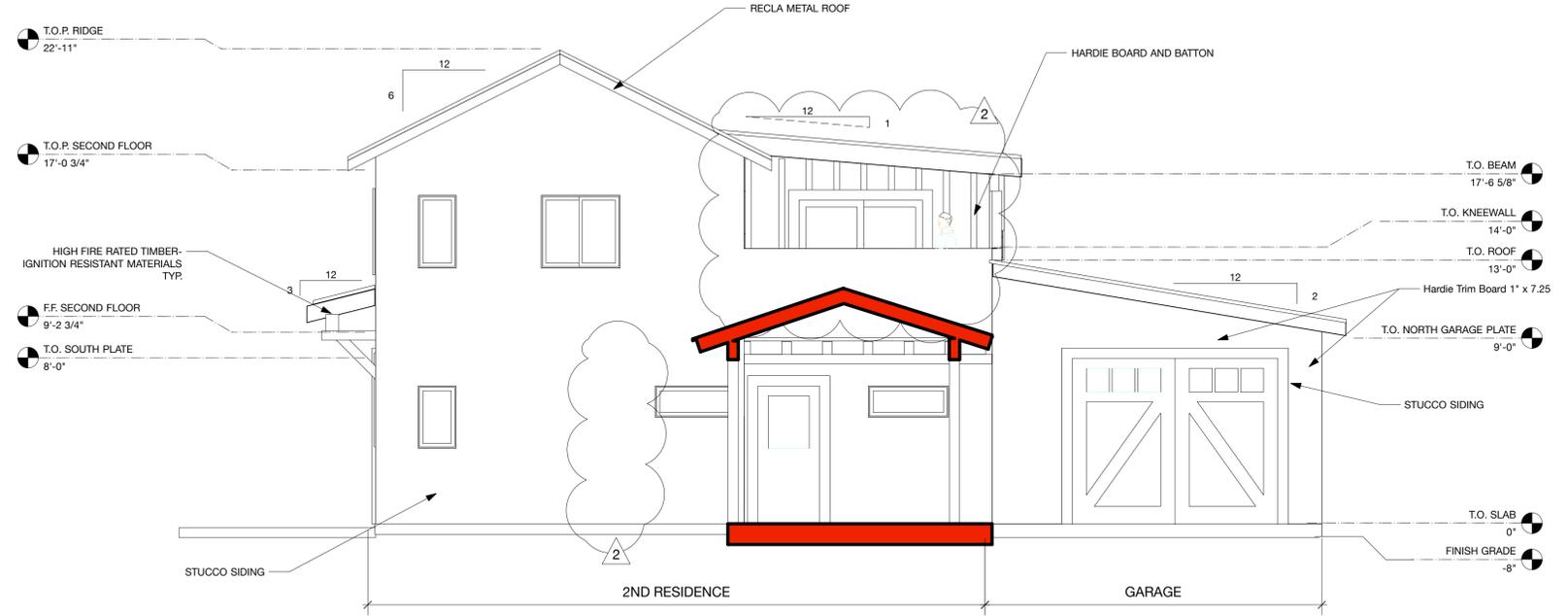
**353 MOUNTAIN  
VIEW**

**SITE PLAN**

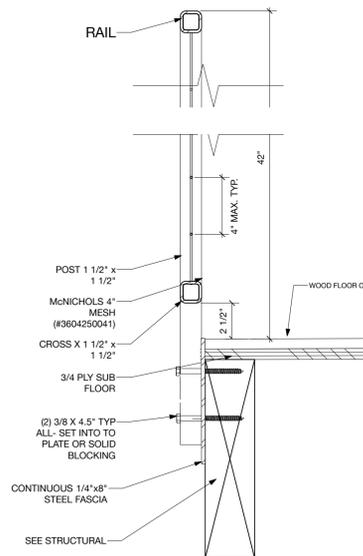
REVISION	
1	Plan Check 1 04 May 18
2	REVISION FDN 08 08 18
3	REV. ADU SIZE 06 19 20
DATE 3 / 19 / 18	
SHEET	
<b>A0.1</b>	
OF 20 SHEETS	



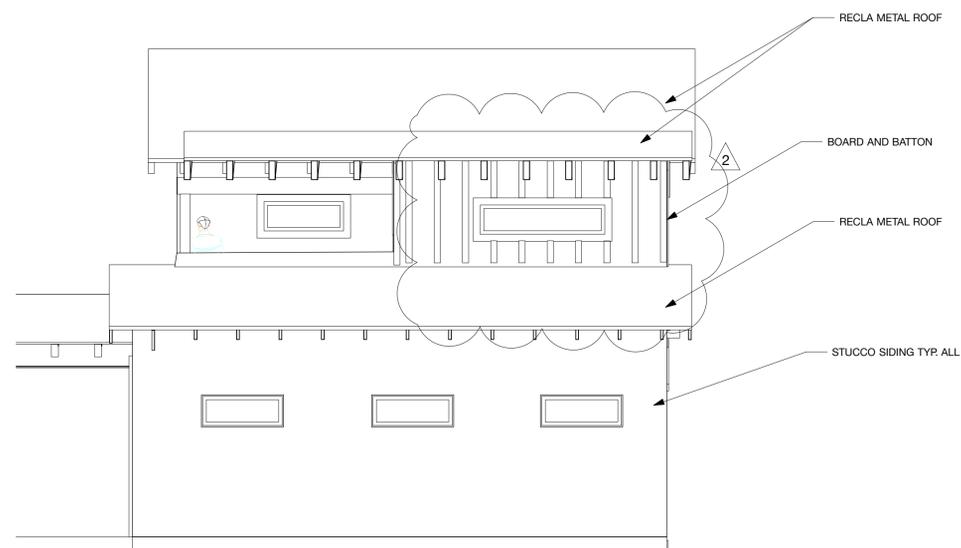
**SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



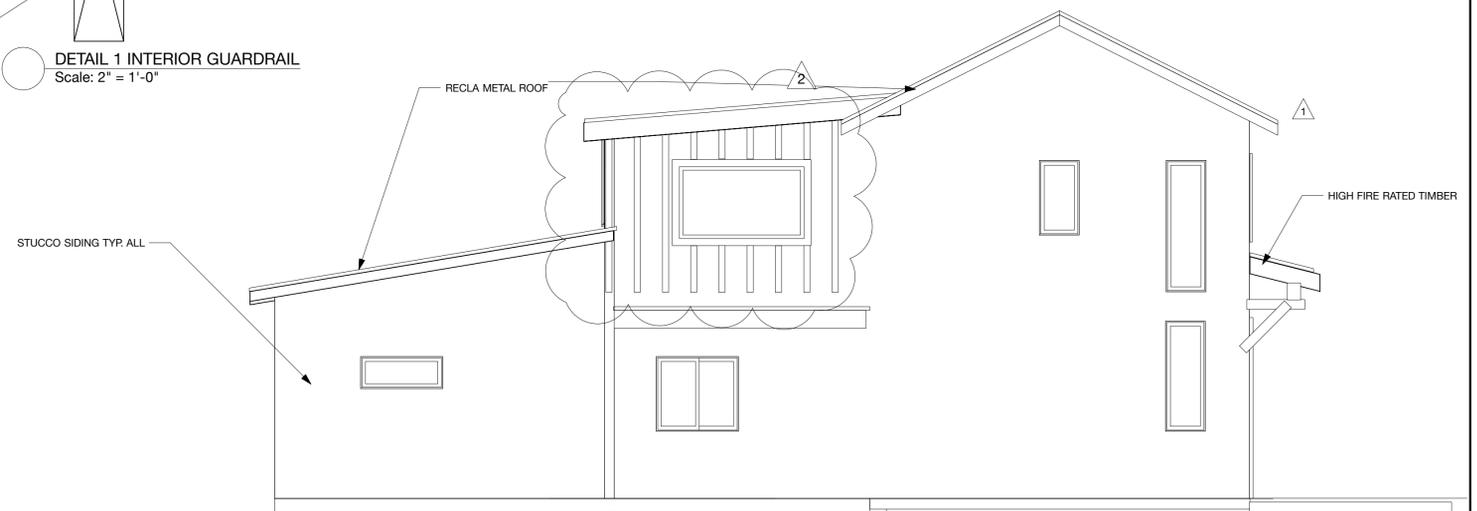
**EAST ELEVATION**  
Scale: 1/4" = 1'-0"



**DETAIL 1 INTERIOR GUARDRAIL**  
Scale: 2" = 1'-0"



**NORTH ELEVATION**  
Scale: 1/4" = 1'-0"



**WEST ELEVATION**  
Scale: 1/4" = 1'-0"

**BERLOW  
RESIDENCE**

**353 MOUNTAIN  
VIEW**

**ELEVATIONS**

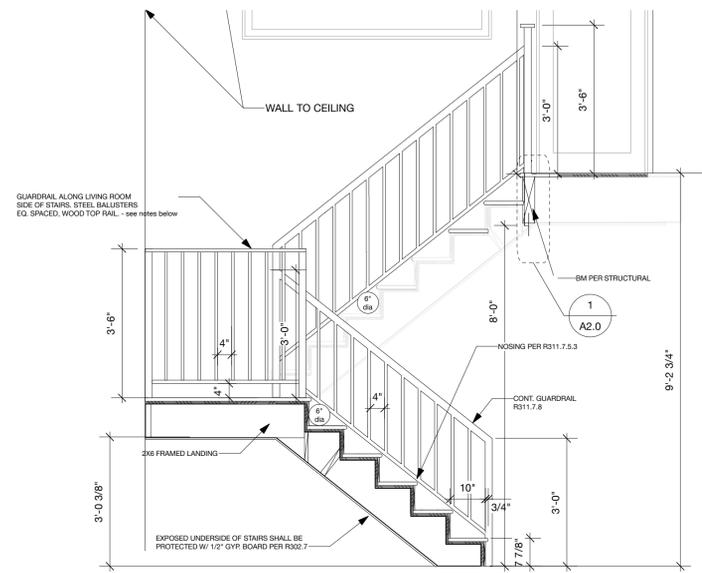
**REVISION**

1	Plan Check 1	04 May 18
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DATE 3 / 19 / 18

SHEET

**A2.0**  
OF 20 SHEETS



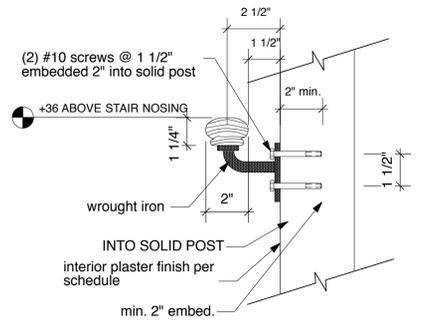
STAIR DETAIL  
Scale: 1/2" = 1'-0"

STAIRWAY NOTES:

- Minimum stairway width shall be not less than 36". (R311.7.1 CRC)
- Handrails shall not project more than 4.5" on either side of the stairway. The clear stairway width at and below the handrail shall be 31 1/2" where a handrail is installed on one side and 27" where handrails are installed on both sides. (R311.7.1 CRC)
- Minimum clear headroom above nose of stair treads shall be 6'-8". (R311.7.2 CRC)
- Maximum stair riser height shall be 7.75". (R311.7.5.1 CRC)
- Minimum stair tread run shall be 10". (R311.7.4.2 CRC)
- Open risers are permitted provided that the opening located more than 30" vertically to floor or grade below do not permit the passage of a 4" diameter sphere. (CRC R311.7.5.1)
- Enclosed accessible space under stair requires 1 layer of 1/2" gypsum board

Guards

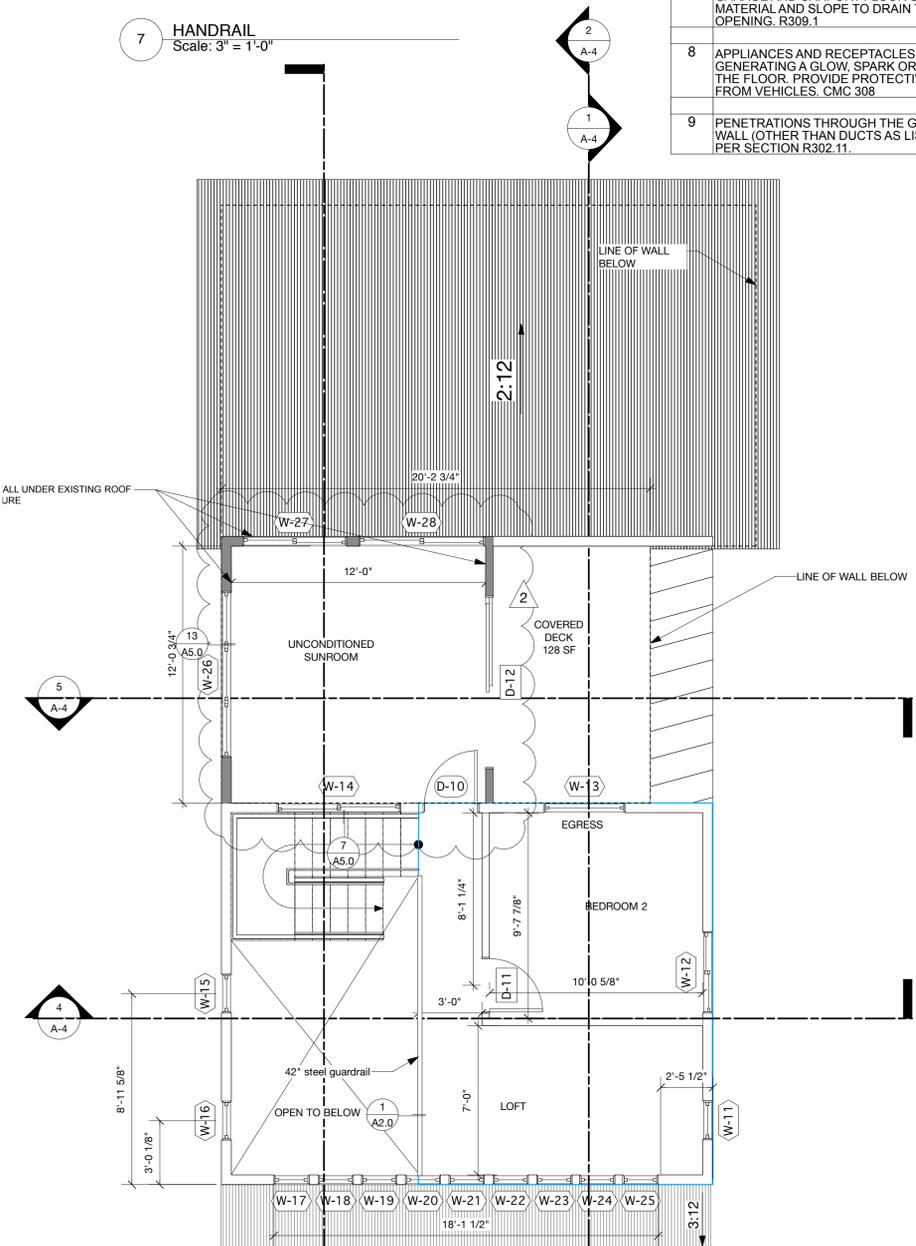
- Open sides of walking surfaces, stairways, landings located more than 30" above the floor or grade below at any point within 36" measured horizontally shall have a minimum 42" high guard.  
EXCEPTION: Guard on the open sides of stairways may be 34" to 38" high. (R312.1 & R312.2CRC)
- Open guards shall have not have openings that allow passage of a 4-inch diameter sphere.  
EXCEPTION: Openings for required guards on the sides of stair treads shall not allow a sphere of 4 3/8" to pass through. (R312.1.3 CRC).



HANDRAIL  
Scale: 3" = 1'-0"

- ATTACHED GARAGE NOTES**
- GARAGE SHALL BE SEPARATED FROM DWELLING UNIT & ATTIC AREA BY 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. CRC TABLE R302.6
  - GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT CRC TABLE R302.6
  - STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR REQUIRED DWELLING / GARAGE SEPARATION SHALL BE COVERED BY NOT LESS THAN 1/2" GYPSUM BOARD. CRC TABLE R302.6
  - MIN. DOOR OPENINGS FROM GARAGE TO DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEY COMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING.
  - NO OPENINGS DIRECTLY INTO A SLEEPING ROOM FROM THE GARAGE ARE ALLOWED. WHEN THE DWELLING AND GARAGE HAS FIRE SPRINKLERS INSTALLED PER R309.6 AND R313, DOORS INTO THE DWELLING UNIT FROM THE GARAGE ONLY NEED TO BE SELF-CLOSING AND SELF-LATCHING. R302.5.1 & T-R302.6
  - DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE MINIMUM OF 26 GAUGE WITH NOT OPENINGS INTO THE GARAGE. R302.5.2
  - GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING. R309.1
  - APPLIANCES AND RECEPTACLES INSTALLED IN THE GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE THE FLOOR. PROVIDE PROTECTIVE POST(S) OR OTHER IMPACT BARRIER FROM VEHICLES. CMC 308
  - PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE FIRE-BLOCKED PER SECTION R302.11.

- GENERAL CONSTRUCTION NOTES:**
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
  - DUCT OPENINGS AND OTHER REALTED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
  - ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
  - PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.
  - AEROSOL PAINTS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
  - DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
  - ALL FLOORING INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS LISTED IN THE CALIF. GREEN BUILDING STANDARDS CODE SECTIONS 4.504.3, 4.504.4, AND 4.504.5
  - CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE PER CGC 4.505.3
  - CONSTRUCTION WASTE REQUIREMENTS OF CRC R324.1 WILL BE MET RECYCLE AND / OR SALVAGE FOR REUSE A MINIMUM OF 50% OF THE HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CGBC CHPT 4, DIVISION 4
  - CRC R330 FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINT AND COATINGS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH CGBC CHPT 4 DIV. 4.5



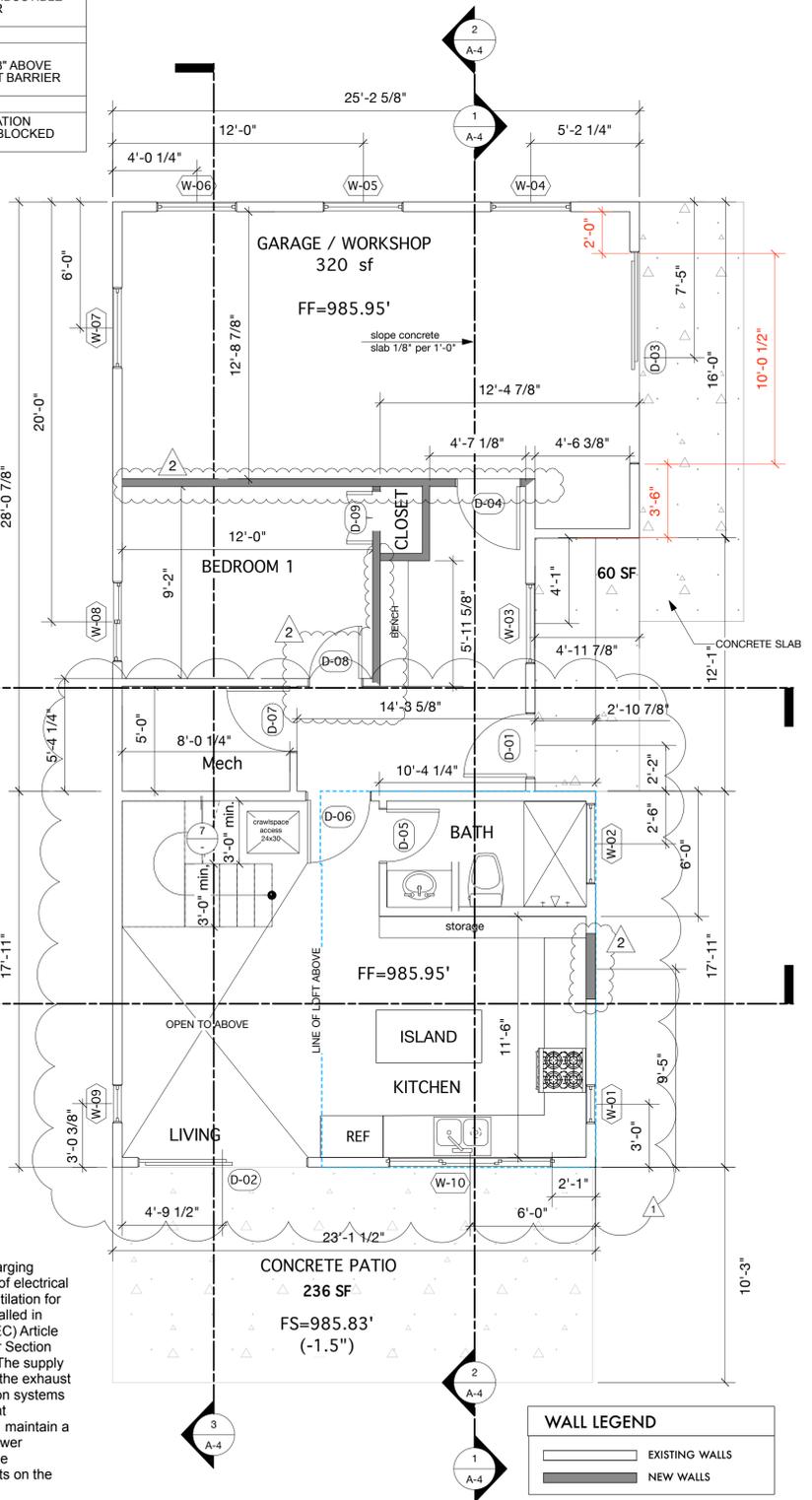
2ND FLOOR  
Scale: 1/4" = 1'-0"

HIGH FIRE REQUIREMENTS

- ROOFING - CLASS A
- NO EAVE OR CORNICE VENTS
- PROTECTED EAVES- IGNITION RESISTANT OR NON COMBUSTIBLE
- EXTERIOR WALL COVERINGS- 20 MIN. RATED
- EXTERIOR GLAZING - ONE TEMPERED PANE OR 20 MIN. RATING
- EXTERIOR DOOR - 20 MIN. RATED
- NEW EXPOSED WOOD STRUCTURAL MEMBERS SHALL BE OF IGNITION- RESISTANT MATERIAL FOR MORE SEE CRC2013, SEC R337

INDOOR VEHICLE CHARGING

Mechanical exhaust ventilation is not required where the charging equipment utilized is installed and listed for indoor charging of electrical vehicles without ventilation. Where mechanical exhaust ventilation for electrical ehicles in door locations is required, it shall be installed in accordance with CRC R328 and California Electric Code (CEC) Article 625. Ventilation is to be provided per CEC Article 625 or per Section 1203 of the California Building Code, whichever is greater. The supply air for the ventilation system shall be from the outdoors and the exhaust shall vent directly to the exterior. Positive pressure ventilation systems are allowed when specifically designed and approved for that application. Approved engineered ventilation systems which maintain a hydrogen gas concentration at less than 25 percent of the lower flammability limit shall not require exhaust ventilation. Provide calculations as necessary and specify clearly all requirements on the plans. CRC R328; CEC Article 625



PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

**WALL LEGEND**

[Line style]	EXISTING WALLS
[Line style]	NEW WALLS

1	INSULATION ROOF = SEE INSULATION SCHEDULE WALLS =SEE INSULATION SCHEDULE FLOOR = SEE INSULATION SCHEDULE
2	PROVIDE PRESSURE BALANCE OR THERMO MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS.
3	GLAZING - ALL WINDOWS AND EXTERIOR DOORS TO BE DUAL GLAZED.
4	MAINTAIN OCCUPANCY SEPARATION BETWEEN GARAGE AND LIVABLE AREA, WHERE PENETRATION OF FLOOR SHEATHING OCCURS (I.E.AT PLUMBING FIXTURES) SEAL AROUND PENETRATION WITH "SEAMCO PR-855" CAULKING OR BETTER
5	ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. W/ A MIN. NET HEIGHT DIMENSION OF 24" AND A NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" ABOVE FINISH FLOOR. - SEE WINDOW SCHEDULE FOR SIZES, HEADER & SILL
6	PROVIDE A CONTINUOUS 3'-0" WIDE MIN. PATH OF EGRESS FROM ALL BEDROOM WINDOWS TO A PUBLIC WAY.
7	ALL INTERIOR WALL DIMENSIONS TO BE 5 1/2" U.N.O.
8	PROVIDE 1/2" GYP BD FIRESTOP/ DRAFTSTOP AT FLOOR / CEILING ASSEMBLY EVERY 1000 SQ.FT.
9	
10	PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10' INTERVALS BOTH VERTICAL AND HORIZONTAL. A AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZ. SPACES WHICH OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. B IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS, IF THE WALLS OF THE STAIRS ARE UNFINISHED. C IN OPENINGS AROUND VENTS, PIPES DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIAL. D AT OPENING BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY BUILT FIREPLACES. E WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND CONTROL, SHALL HAVE FIRE LOCKS OF MINERAL FIBER OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. F THE INTEGRITY OF ALL FIREBLOCKING AND DRAFT STOPS SHALL BE MAINTAINED. G SOUND WALL TO BE CONSTRUCTED WITH 2 x STUDS WITH FULL BATT INSULATION AND 1 1/2" SOUND BOARD. H ALL FIRST FLOOR PLATE HEIGHTS, SHOWN ARE MEASURED FROM TOP OF FINISHED FLOOR.
11	ALL FLOOR SHEATHING SHALL BE 1 1/8" THICK.
12	
13	
14	5/8" GYP. BRD TYP. WALLS AND CL'G

**BERLOW RESIDENCE**  
353 MOUNTAIN VIEW

**FLOOR PLAN**

**REVISION**

Plan Check 1	04 May 18
REVISION FDN	08 08 18
REV. ADU SIZE	06 19 20

DATE 3 / 19 / 18

SHEET **A1.0** OF 20 SHEETS